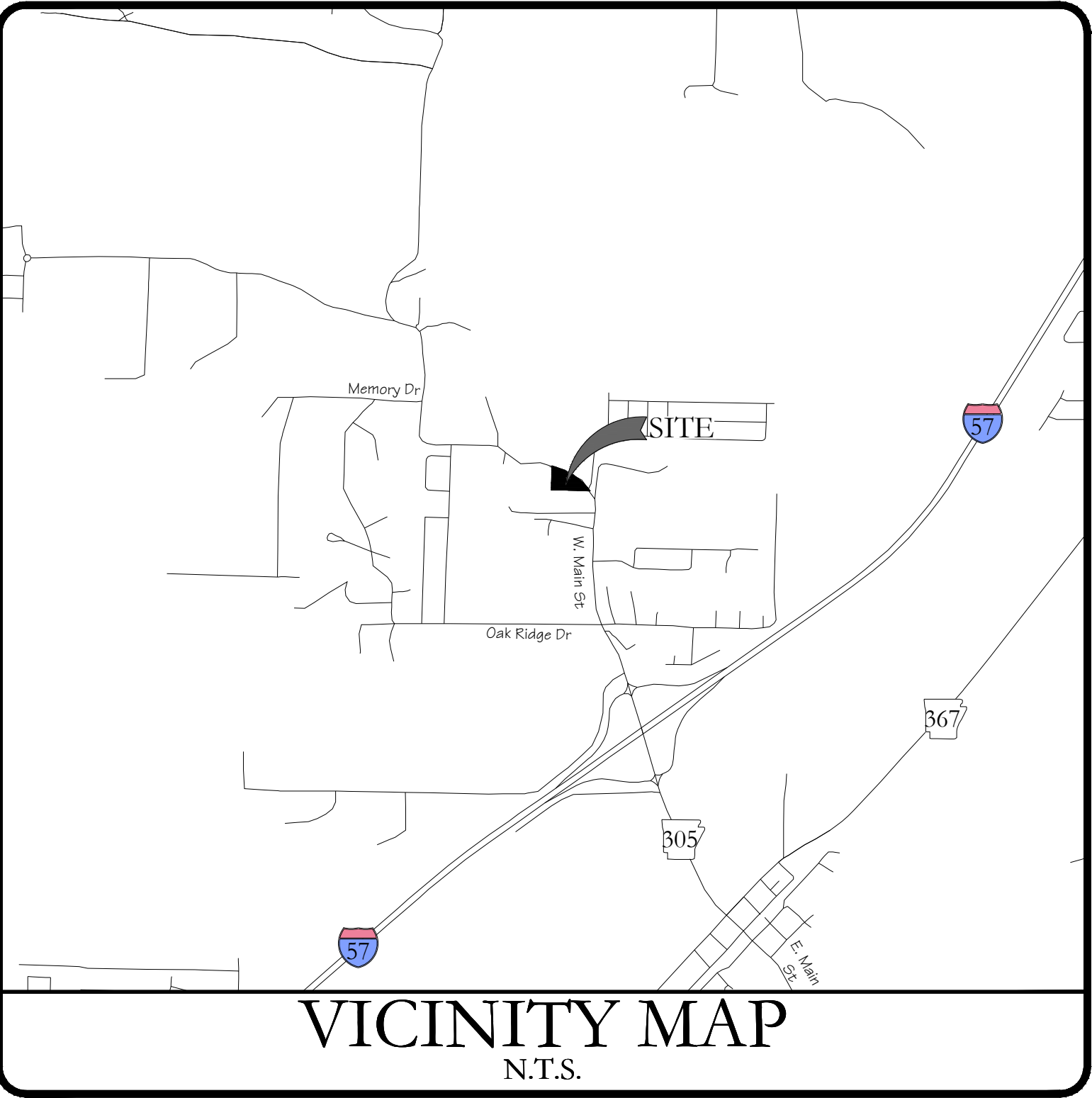


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General Notes:

- ✕ A minimum of forty eight (48) hours prior to any excavation or grading, Contractor shall contact the State One-Call system at 811 to locate all underground utilities. The Contractor shall notify the Engineer of Record immediately in the event that underground utilities are not shown on plan and / or conflict with proposed civil works.
- ✕ The Engineer of record shall not be held responsible for survey inaccuracies, survey omissions, or for design errors or omissions resulting from an inaccurate survey.
- ✕ Construction Contractor and his Subcontractors agree that in accordance with generally accepted construction practices and OSHA safety standards, Construction Contractor and his Subcontractors will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not limited to normal working hours, and construction Contractor and his Subcontractors further agree to defend, indemnify and hold Design Professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, except liability arising from the sole negligence of design professional.
- ✕ It is the responsibility of the Contractor to maintain all erosion and sediment control devices through all phases of construction. Erosion and sediment control devices may only be removed upon 70% stabilization of the site as defined by the State's Department of Environmental Quality's General Permit for Construction.
- ✕ The Contractor is to be solely responsible for any damage to neighboring properties during construction of this project.
- ✕ This project was designed in accordance with currently accepted industry design standards. The Engineer of Record does not warrant any work completed on site unless direct inspection by the Engineer of Record & proper testing by a state certified qualified inspection lab occurs during all phases of construction.
- ✕ The Contractor shall review the construction documents prior to any construction, and notify the Engineer of Record immediately upon discovery of any discrepancies that may occur on the drawings. All work shall discontinue until such time that the Engineer of Record has resolved said discrepancy.
- ✕ The Contractor shall be responsible for disposal of construction waste materials including but not limited to demolition materials, debris, contaminated soils / materials, etc. in a lawful manner, at state and federally accepted disposal sites.
- ✕ The Contractor is responsible for obtaining and constructing in accordance with the stricter of: these construction documents and any associated details & specifications; and all municipalities / governing agencies' standards and specifications for construction.
- ✕ This drawing set and associated site, grading, utility, etc. plans are representations of the construction design and shall not be scaled to determine dimensions.

Survey Description

THE LAND IS DESCRIBED AS FOLLOWS:

LOT 1, BLOCK 1, AUCKLAND COMMERCIAL SUBDIVISION, BELLA VISTA VILLAGE, BENTON COUNTY, ARKANSAS, AS SHOWN IN PLAT BOOK 2005 AT PAGE 632, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: A PART OF THE FRACTIONAL NW 1/4 OF SECTION 16, TOWNSHIP 21 NORTH, RANGE 30 WEST OF THE FIFTH PRINCIPAL MERIDIAN, BENTON COUNTY, ARKANSAS, AND BEING DESCRIBED AS FOLLOWS: COMMENCING AT A 2 1/2 INCHES BY 34 INCHES ARKANSAS ALUMINUM CAP STAMPED AS THE CLOSING CORNER OF SECTION 16 AND SECTION 17, TOWNSHIP 21 NORTH, RANGE 30 WEST, BEING THE CLOSING CORNER ON THE BOUNDARY LINE OF THE STATE OF ARKANSAS AND STATE OF MISSOURI FOR THE NW CORNER OF THE FRACTIONAL NW 1/4 OF SECTION 16, TOWNSHIP 21 NORTH, RANGE 30 WEST, THENCE ALONG THE BOUNDARY LINE OF THE STATE OF ARKANSAS AND MISSOURI, SOUTH 88°39'27" EAST 300.12 FEET TO A SET IRON PIN FOR THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG THE BOUNDARY LINE OF THE STATE OF ARKANSAS, SOUTH 88°39'27" EAST 530.00 FEET TO AN IRON PIN SET AT THE INTERSECTION OF THE ARKANSAS STATE LINE AND THE WESTERLY RIGHT-OF-WAY LINE OF ARKANSAS STATE HIGHWAY 94, THENCE LEAVING THE STATE LINE OF ARKANSAS AND ALONG THE WESTERLY RIGHT-OF-WAY LINE OF ARKANSAS STATE HIGHWAY 94 AND ALSO ALONG A CURVE TO THE LEFT WITH A DELTA ANGLE OF 23°18'54", HAVING A RADIUS OF 756.19 FEET AND AN ARC LENGTH OF 307.71 FEET, WITH A CHORD BEARING AND DISTANCE OF SOUTH 21°23'43" EAST 305.59 FEET TO AN IRON PIN AT THE INTERSECTION OF THE WESTERLY RIGHT-OF-WAY LINE OF ARKANSAS STATE HIGHWAY 94 AND THE NORTHERLY RIGHT-OF-WAY LINE OF ARKANSAS STATE HIGHWAY 340, THENCE ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF ARKANSAS STATE HIGHWAY 340 AND ALONG A CURVE TO THE RIGHT WITH A DELTA ANGLE OF 33°59'59", HAVING A RADIUS OF 512.06 FEET AND AN ARC LENGTH OF 303.86 FEET, WITH A CHORD BEARING AND DISTANCE OF SOUTH 73°44'28" WEST 299.42 FEET TO A SET IRON PIN; THENCE LEAVING THE NORTHERLY RIGHT-OF-WAY LINE OF ARKANSAS STATE HIGHWAY 340, NORTH 07°56'28" WEST 237.61 FEET TO A SET IRON PIN, THENCE NORTH 69°58'25" WEST 343.48 FEET TO A SET IRON PIN, THENCE NORTH 01°20'34" EAST 27.85 FEET TO THE TRUE POINT OF BEGINNING.

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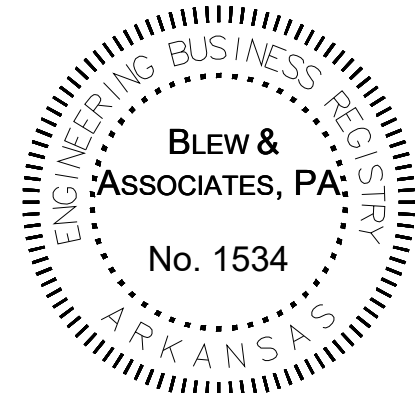
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Typical Abbreviation List:

Abbrev.	Description	Abbrev.	Description
RCP	Reinforced Concrete Pipe	TC	Top of Back of Curb (Spot Elevation)
CMP	Corrugated Metal Pipe	G	Gutter / Bottom of Sidewalk (Spot Elevation)
HDPE	High Density Polyethylene Pipe	TW	Top of Wall (Spot Elevation)
SLMP	Smooth Line Metal Pipe	BW	Bottom of Wall at Grade (Spot Elevation)
PVC	Polyvinyl Chloride Pipe	HP	High Point (Spot Elevation)
DI	Ductile Iron Pipe	LP	Low Point (Spot Elevation)
J-Box	Junction Box	TB	Top of Box (Spot Elevation)
FES	Flared End Section	BC	Back of Curb
RW	Retaining Wall	FC	Face of Curb
HW	Head Wall	FH	Fire Hydrant Assembly
WW	Wing Wall	GV	Gate Valve
AE	Access Easement	MJ	Mechanical Joint
DE	Drainage Easement	N	North
TCE	Temporary Construction Easement	E	East
UE	Utility Easement	W	West
BS	Building Setback	S	South

CERTIFICATE OF AUTHORIZATION



* Engineers Notice *

The existence and location of any underground utility pipes or structures shown on these drawings are obtained by a search of the available records. To the best of our knowledge, these are correct. Existing utilities and structures are shown as they are located. We assume no responsibility for the accuracy of the drawings or the location of the utilities and structures. The Contractor is required to take the precautionary measures to protect the utility lines shown, and all other lines not of record or not shown on these drawings by verification of their location in the field prior to the initiation of the actual portion of the their work.

* Document Ownership *

This document, and the ideas and designs incorporated herein as and instrument of professional services, is the property of Blew & Associates, P.A. and is not to be used, in whole or part, for any other project without the written authorization of Blew & Associates, P.A.

Cover Sheet

Development Plans for:
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SEAL



FORM

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Certificate of Authorization No. 1534

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DRAWN BY:	H. Smith	REVIEWED BY:	W. Cody Sexton
DRAWING NAME:	25-1777 Civil 001b.dwg		
SHEET NUMBER:	C1		

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A. GENERAL CIVIL SITEWORK NOTES:

1. THE CIVIL SITEWORK DRAWINGS IN THIS PACKAGE ARE PROVIDED TO INDICATE MINIMUM STANDARDS FOR DOLLAR GENERAL NEW STORE DEVELOPMENTS. IT IS NOT INTENDED, NOR WILL BE ACCEPTABLE BY DOLLAR GENERAL, AS FINAL CIVIL SITEWORK DRAWINGS AND/OR SPECIFICATIONS FOR NEW STORE SITE DEVELOPMENTS. COORDINATE SITE SPECIFIC PLANS WITH ALL DISCIPLINES.
2. PRIOR TO CONSTRUCTION DEVELOPER SHALL PROVIDE DOLLAR GENERAL STORE DESIGN DEPARTMENT A COMPLETE SET OF CIVIL SITEWORK DRAWINGS STAMPED BY A CIVIL ENGINEER LICENSED IN THE STATE IN WHICH THE DEVELOPMENT IS PROPOSED. DOLLAR GENERAL SHALL APPROVE ENGINEERED DRAWINGS PRIOR TO DEVELOPER STARTING CONSTRUCTION. ANY MAJOR MODIFICATIONS OF THE DRAWINGS, AFTER INITIAL APPROVAL, SHALL BE RESUBMITTED TO DOLLAR GENERAL FOR PRIOR APPROVAL. ANY CHANGES MADE THAT ARE NOT APPROVED BY DOLLAR GENERAL STORE DESIGN DEPARTMENT, MAY NOT BE ACCEPTABLE, AND MAY REQUIRE RECONSTRUCTION.
3. A BOUNDARY AND TOPOGRAPHIC SURVEY SHALL BE INCLUDED IN THE CIVIL SITEWORK DRAWINGS SUBMITTED TO DOLLAR GENERAL. THE DRAWINGS SHALL BE STAMPED BY A PROFESSIONAL LICENSED SURVEYOR REGISTERED IN THE STATE IN WHICH THE DEVELOPMENT IS PROPOSED. TOPOGRAPHIC SURVEY SHALL SHOW UTILITIES (ABOVE AND UNDERGROUND) AND EXISTING GRADE CONTOURS AT ONE FOOT (1') INTERVALS. TOPOGRAPHIC SURVEY SHALL EXTEND BEYOND THE PROPERTY BOUNDARY AS REQUIRED TO SHOW LOCAL STREETS, NEARBY INTERSECTIONS, ADJACENT DITCHES, ETC. AS ITEMS PERTAIN TO NEW DEVELOPMENT.
4. A UTILITY PLAN SHALL BE INCLUDED IN THE CIVIL SITEWORK DRAWINGS. THE PLAN SHALL INCLUDE UTILITIES REQUIRED FOR BUILDING SERVICES AND ANY UTILITY MAIN IMPROVEMENTS THAT MAY BE REQUIRED. UTILITY DETAILS SHALL BE INCLUDED IN THE DRAWINGS. UTILITIES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ALL JURISDICTIONAL REQUIREMENTS.
5. DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE FOR ANY NATIONAL, STATE AND/OR LOCAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS. EROSION CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED TO INSURE THAT NO SEDIMENT IS CONVEYED OFF THE SITE TO ADJACENT PROPERTIES. AT A MINIMUM, CONTRACTOR/DEVELOPER SHALL SEED, FERTILIZE AND MULCH ALL DISTURBED AREAS. A SUITABLE STAND OF GRASS SHALL BE OBTAINED AT ALL UNIMPROVED AND NON-LANDSCAPED AREAS.
6. PROVISIONS FOR LOCAL AND/OR REGIONAL LANDSCAPING REQUIREMENTS, INCLUDING LANDSCAPING IRRIGATION, ARE NOT SHOWN ON THESE DRAWINGS. DEVELOPER SHALL PROVIDE LANDSCAPING IN ACCORDANCE WITH JURISDICTIONAL REQUIREMENTS.
7. HANDICAP REQUIREMENTS SHOWN ON THE DRAWINGS ARE MINIMUM REQUIREMENTS. DEVELOPMENT SHALL BE IN ACCORDANCE WITH FEDERAL AND LOCAL REQUIREMENTS FOR HANDICAP ACCESSIBILITY, INCLUDING BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
8. PRIOR TO FINAL ACCEPTANCE OF STORE BY DOLLAR GENERAL, THE SITE SHALL BE CLEAN OF ALL DEBRIS AND TRASH.
9. DEVELOPER SHALL OBTAIN ALL JURISDICTIONAL APPROVALS AND PERMITS REQUIRED FOR THE DEVELOPMENT.
10. WHERE OFFSITE WORK IS REQUIRED FOR THE DEVELOPMENT, SUCH AS DOT STREET IMPROVEMENTS, UTILITY IMPROVEMENTS, ETC., DEVELOPER SHALL INCORPORATE THE IMPROVEMENTS AND/OR OFFSITE DESIGN DRAWINGS INTO THE DOLLAR GENERAL SITEWORK DRAWINGS.
11. DOLLAR GENERAL MINIMUM PAVEMENT RECOMMENDATIONS MUST BE MET. DEVIATIONS WILL REQUIRE A GEOTECHNICAL INVESTIGATION INCLUDING DESIGN RECOMMENDATIONS AND APPROVAL BY DOLLAR GENERAL STORE DESIGN.

B. SITE ELECTRICAL AND SIGNAGE GENERAL NOTES:

1. UNDERGROUND ELECTRICAL SERVICE IS PREFERRED FOR DOLLAR GENERAL DEVELOPMENTS. TRANSFORMER PAD DESIGN SHALL BE PROVIDED BY ELECTRICAL UTILITY PROVIDER AND SHALL BE BOLLARD PROTECTED WHEN LOCATED IN A HAZARDOUS AREA.
2. SITE LIGHTING SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 1.5 FOOT-CANDLES AT THE PARKING LOT AREAS, BUILDING ENTRANCES, DUMPSTER AREA AND TRUCK DELIVERY AREA. THE OUTER PERIMETER OF THE BUILDING SHALL BE LIGHTED FOR SECURITY. SITE LIGHTING SHALL BE INSTALLED ALONG THE WALLS OF THE BUILDING AND POLE MOUNTED AT THE PERIMETER OF THE PARKING LOT AS NECESSARY.
3. REQUIRED POLE MOUNTED LIGHTING: 24' HEIGHT POLES WITH LED HEADS. CONFIRM WITH ELECTRICAL DRAWINGS AND PHOTOMETRICS.
4. REQUIRED WALL MOUNTED LIGHTING: CONFIRM WITH ELECTRICAL DRAWINGS AND PHOTOMETRICS.
5. LIGHTED PYLON SIGN: PROVIDE CONDUIT FROM ELECTRICAL PANEL TO LOCATION OF THE PYLON SIGN BASE. BURY CONDUIT TO PYLON. THE CONDUIT IS TO BE 1" AND HAVE ONE SET OF 10/2 WIRE WITH GROUND AND A 20-AMP 2-POLE BREAKER AT THE PANEL. A TEMPORARY 3" TALL WIRING STAKE SHALL BE PROVIDED AT THE PYLON SIGN LOCATION UNTIL THE SIGN IS PERMANENTLY INSTALLED.
6. LIGHTED BUILDING SIGN: PROVIDE CONDUIT FROM ELECTRICAL PANEL TO THE CENTER OF THE SIGN CANOPY. THE CONDUIT IS TO BE 1" AND HAVE ONE SET OF 10/2 WIRE WITH GROUND AND A 20-AMP 2-POLE BREAKER AT THE PANEL. BUILDING CANOPY MUST BE SUFFICIENTLY BUILT TO SUPPORT THE DOLLAR GENERAL SIGN. SIGN WEIGHT UP TO 1,400 LBS. NOTE: IF THE LEASE SPECIFIES A 5'-0" X 40'-0" BUILDING SIGN OR 24" LETTER SET (OR LARGER), 2 QUANTITY - 10/2 WIRE WITH GROUND AND 2 QUANTITY 20 AMP BUILDING SIGN OR 24" LETTER SET (OR LARGER), 2 QUANTITY - 10/2 WIRE WITH GROUND AND 2 QUANTITY 20 AMP.
7. UNDERGROUND ELECTRICAL SHALL BE PROVIDED TO THE SITE LIGHT POLES.
8. THE FINAL PYLON SIGN CONNECTION AND UNDERGROUND CONDUIT IS LANDLORD RESPONSIBILITY.
9. NATIONAL ACCOUNTS FOR DOLLAR GENERAL VENDOR PRICING FOR LIGHTING WALL PACKS AND POLE LIGHT FIXTURES ARE SHOWN ON THE NATIONAL ACCOUNT VENDOR LIST ON SHEET T01.

C. SITE PLAN GENERAL NOTES:

1. THE SITE PLAN IS BASED ON MINIMUM REQUIREMENTS FOR SITE ACCESS, PARKING & FREIGHT DELIVERY. DEVIATIONS FROM THIS PLAN SHALL INSURE PROPER SITE ACCESS FOR DOLLAR GENERAL'S FREIGHT TRUCKS DURING NORMAL BUSINESS (OPERATING) HOURS. ON-SITE DELIVERY TRUCK MANEUVERING PATHS SHALL BE DESIGNED UTILIZING DOLLAR GENERAL'S 73-FOOT LONG FREIGHT TRUCK. PATHS SHALL BE UNOBSTRUCTED AND FREE OF LANDSCAPE ISLANDS, SIGNS, LIGHT POLES, BOLLARDS, ETC. HEAVY DUTY PAVEMENT IS REQUIRED ALONG THE ENTIRE DELIVERY TRUCK (MANEUVERING) PATH.
2. A MINIMUM OF 35 PARKING SPACES, WHICH INCLUDE 2 HANDICAP ACCESSIBLE SPACES, ARE REQUIRED FOR THIS DEVELOPMENT. THE NUMBER OF PARKING SPACES SHALL BE INCREASED AS REQUIRED BY JURISDICTIONAL REQUIREMENTS. IF ADDITIONAL PARKING SPACES ARE REQUIRED OR PROVIDED, THE TOTAL NUMBER OF H.C. SPACES SHALL BE INCREASED IN ACCORDANCE WITH ADA REQUIREMENTS.
3. STANDARD PARKING SPACES SHALL HAVE MINIMUM SIZE OF 9' X 20' UNLESS LOCAL JURISDICTION REQUIRE LARGER SPACES. PARKING SPACE STRIPING SHALL BE STANDARD 90 DEGREE STYLE. MINIMUM SIZE OF H.C. PARKING SPACES AND ACCESS AISLES ARE SHOWN ON DETAILS.
4. PAINTED STANDARD PARKING SPACE AND ISLAND STRIPE COLOR SHALL BE YELLOW FOR ASPHALT PAVEMENT AND CONCRETE PAVEMENT. COLOR FOR PAINTED H.C. ACCESSIBLE PARKING SPACE STRIPES, ACCESS AISLE OR ISLAND STRIPES, H.C. SYMBOLS, SHALL BE "H.C." BLUE COLOR. BOLLARDS SHALL BE PAINTED YELLOW. PAINT SHALL BE REFLECTIVE TYPE.
5. PAINTED FIRE LANE STRIPING OR PAINTED CURBS SHALL BE PROVIDED AS REQUIRED BY JURISDICTIONAL REQUIREMENTS.
6. CONCRETE PARKING STOPS SHALL BE USED AT PARKING SPACES ALONG THE OUTER PERIMETER OF PARKING LOT WHEN CONCRETE CURBS ARE NOT USED.
7. CONCRETE PARKING STOPS SHALL NOT BE USED AT THE FRONT OF THE BUILDING OR ALONG THE PERIMETER (ADJACENT) TO THE BUILDING.
8. THE SIDEWALK AT THE FRONT OF THE BUILDING SHALL BE A MINIMUM OF 9-FEET WIDE. THE SIDEWALK SHALL INCLUDE A 10-FOOT MINIMUM WIDE ADA ACCESSIBLE RAMP ON AXIS WITH THE MAIN ENTRANCE. SIDEWALKS ALONG OTHER SIDES OF BUILDING SHALL BE MINIMUM 3'-6" WIDE. SIDEWALKS ADJACENT TO BUILDING SLABS SHALL HAVE SEALED ISOLATION JOINTS AND SHALL BE 6" HIGH ABOVE EXTERIOR OR PAVEMENT FINISH GRADES. ALL SIDEWALKS TO RECEIVE BROOM FINISH.
9. PORTLAND CEMENT SIDEWALKS SHALL BE MINIMUM 4" THICK WITH A 6" HIGH CURB AT ALL PAVEMENT TRANSITIONS, USE WELDED WIRE FABRIC REINFORCING.
10. THE PREFERRED WIDTH OF SITE CURB CUTS IS 36' WITH ONE ENTRANCE LANE AND TWO (RIGHT TURN AND LEFT TURN) EXIT LANES.
11. DRIVEWAY CONSTRUCTION WITHIN ROAD RIGHT-OF-WAYS, INCLUDES RADIUS SIZES, PAVEMENT MARKINGS, DRIVEWAY WIDTHS, ETC., SHALL BE IN ACCORDANCE WITH JURISDICTIONAL REQUIREMENTS.
12. A 25' MINIMUM RADIUS SHALL BE USED FOR DRIVEWAY TURNOUTS AS SHOWN ON PLAN.
13. SITE PLANS SHALL UTILIZE DOLLAR GENERAL'S PROTOTYPICAL BUILDING DESIGN DIMENSIONS. SHOULD SITE CONSTRAINTS NOT ALLOW THE PROTOTYPICAL BUILDING DESIGN, DEVELOPER SHALL CONTACT DOLLAR GENERAL SITE COMPLIANCE COORDINATORS FOR OPTIONS AND APPROVAL. GROW BUILDING OUTWARD IF NECESSARY TO MAINTAIN CLEAR SALES FLOOR AREA AS SHOWN ON SHEET A1.
14. THE BUILDING MAIN ENTRANCE SHALL BE ORIENTED ON THE SITE TO FACE THE MAIN ACCESS ROAD. PARKING SHOULD BE CONCENTRATED AT THE FRONT OF THE STORE.
15. THE ACTUAL LOCATION FOR THE PYLON SIGN SHALL BE SITUATED FOR OPTIMUM VISIBILITY ALONG THE MAIN FRONT TRAFFIC CORRIDOR.
16. THE LANE OR DRIVE BETWEEN PARKING SPACES SHALL HAVE A MINIMUM WIDTH OF 36' WHEN LANE IS HEAVY DUTY PAVEMENT AND USED FOR FREIGHT TRUCK MANEUVERING. THE LANE SHALL HAVE A MINIMUM WIDTH OF 24' WHEN THE LANE IS CONSTRUCTED OF STANDARD DUTY PAVEMENT AND NOT USED FOR FREIGHT TRUCK MANEUVERING.
17. BUILDING CORNERS ADJACENT TO PAVED AREAS SHALL BE BOLLARD PROTECTED. ABOVE GROUND UTILITY APPURTENANCES, SUCH AS METERS, TRANSFORMERS, FIRE HYDRANTS IN PAVED AREAS, ETC. SHALL BE BOLLARD PROTECTED.
18. CONCRETE SPLASH BLOCKS SHALL BE INSTALLED AT ALL BUILDING DOWNSPOUTS THAT ARE NOT ONTO IMPERVIOUS AREAS. DOWNSPOUTS SHALL NOT BE ALLOWED TO DISCHARGE ON CONCRETE SIDEWALKS. SEE DETAIL ON 2/C1.
19. DUMPSTER AND DELIVERY PADS SHALL BE CONSTRUCTED OF CONCRETE AS DETAILED ON THE DRAWINGS. AN ENCLOSURE SHALL BE PROVIDED ON THE DUMPSTER PAD IF REQUIRED BY JURISDICTION. SANITARY SEWER AND DOMESTIC HOT WATER SHALL BE PROVIDED AT DUMPSTER AREA IF REQUIRED BY JURISDICTION.
20. PUBLIC SANITARY SEWER CONNECTION REQUIRED.
21. SEPTIC SYSTEM NOT ALLOWED UNLESS WRITTEN APPROVAL IS OBTAINED FROM DOLLAR GENERAL STORE DESIGN.
22. HOLDING TANK SYSTEMS ARE NOT ALLOWED.
23. LIFT STATIONS ARE NOT ALLOWED WITHOUT DOLLAR GENERAL APPROVAL.
24. EXTERIOR WALLS AND FOUNDATION SHALL HAVE WATERPROOFING.
25. NOT USED.
26. ALL DOWNSPOUTS DISCHARGING ONTO NON PAVED AREAS ARE TO HAVE A MIN. 5' PERFORATED LANDSCAPE PIPE STRAPPED TO A MIN. 12"X24" CONCRETE SPLASH BLOCK.
27. FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON-PAVED AREAS.
28. FINISH FLOOR TO BE A MINIMUM OF 12" ABOVE 100 YEAR FLOOD PLAIN.
29. DESIGNER NOTE: IF AN UNOBSTRUCTED VIEW EXISTS OF A RESIDENTIAL BUILDING BETWEEN TENANT PARCEL AND ADJACENT PARCEL, THAN LESSOR SHALL CONSTRUCT A PRIVACY FENCE IN ACCORDANCE WITH TENANT'S CRITERIA SET PLANS AND ANY APPLICABLE GOVERNMENT REQUIREMENTS. SEE FENCE DETAIL ON SHEET C4.

D. SITE PARKING LOT:

1. USE PAVING SPECIFICATIONS NOTED ON SHEET C4 UNLESS A CERTIFIED GEOTECH REPORT SPECIFIES AN ALTERNATE REQUIREMENT (SEE PAGE C4 FOR DETAILS) AND IS APPROVED BY DOLLAR GENERAL STORE DESIGN DEPARTMENT.
2. PROVIDE PARKING LOT IN GOOD CONDITION, PROPERLY STRIPED PER SHEET C1 WITH YELLOW PAINT. MINIMUM OF 35 PARKING SPACES REQUIRED, INCLUDING A MINIMUM OF 2 HANDICAP ACCESSIBLE SPACES (PROPERLY MARKED, SIGNED, AND ADA COMPLIANT).
3. PROPER ACCESS FOR DOLLAR GENERAL'S FREIGHT TRUCKS (FREIGHT TRUCKS ARE APPROXIMATELY 73'-0" IN TOTAL LENGTH) ARE REQUIRED DURING NORMAL BUSINESS HOURS. THIS INCLUDES A TRUCK PATH THAT IS FREE OF LANDSCAPE ISLANDS, SIGNS, LIGHT POLES, AND OTHER BARRIERS WHILE MAINTAINING WIDE RADIUS CURVES ON ALL ENTRANCES AND EXITS. HEAVY DUTY PAVING (SEE PAGE C4 FOR SPECIFICATIONS) REQUIRED FOR TRUCK PATHS.
4. PROVIDE PROTECTION (BOLLARDS, GUARD RAILS, OR EQUIVALENT) FOR ELECTRIC, GAS, HVAC, AND WATER METERS THAT ARE IN POTENTIALLY HAZARDOUS LOCATIONS.
5. CONTRACTOR WILL COMPLETE ALL SITE WORK: FINAL GRADING, LANDSCAPING, SEEDING, PAVING, RETENTION, AND REMOVAL OF DEBRIS.
6. PROVIDE AND INSTALL CONCRETE SPLASH BLOCKS AT ALL UNPAVED DOWN SPOUT LOCATIONS.
7. ROUTE DOWNSPOUTS UNDER SIDEWALKS AS DETAILED IN 2/C1 AT ALL SIDEWALK LOCATIONS.
8. PLEASE NOTE THAT THERE SHOULD NOT BE ANY PARKING STOPS LOCATED DIRECTLY IN FRONT OF OR DIRECTLY ADJACENT TO THE BUILDING.
9. EROSION CONTROL AROUND PROPERTY IS REQUIRED BY CONTRACTOR.
10. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING ALL VEGETATION AND REGIONAL APPROPRIATE LANDSCAPING. ALL LOCAL LANDSCAPE REQUIREMENTS MUST BE MET.
11. THE GRADE FOR THE PAVED TRUCK RECEIVING LANE IS NOT TO EXCEED 2.5%. IF THIS CONDITION CANNOT BE MET, NOTIFY THE DOLLAR GENERAL STORE DESIGN DEPARTMENT IN WRITING WITH PROPOSED GRADING PLAN FOR APPROVAL.
12. THE GRADE FOR THE PAVED PARKING AREA IS NOT TO EXCEED 3.5%.
13. THE CONCRETE DELIVERY TRUCK RECEIVING PAD MUST BE A MINIMUM OF 16'X16'. THE CONCRETE PAD MUST SLOPE AWAY FROM THE BUILDING AT 1/8" PER FOOT.
14. THE CONCRETE DUMPSTER PAD MUST BE A MINIMUM OF 18' X 18'. INCLUDE BOLLARDS BEHIND DUMPSTERS, SPACED 6'-0" APART.
15. IF REQUIRED, THE DUMPSTER ENCLOSURE MUST BE 18' WIDE BY 12' DEEP. USE PRIVACY FENCE AS BASIS FOR DESIGN IF POSSIBLE W/ BOLLARDS BEHIND DUMPSTERS.
16. CURBING OR CONCRETE PARKING STOPS SHOULD BE LOCATED AT PERIMETER PARKING ZONES ONLY.
17. LANDSCAPING AND SITE WORK SHALL BE FREE OF DEBRIS AND IN LIKE NEW CONDITION.

E. HVAC SECURITY FENCING

PROVIDE THE FOLLOWING WHEN THE STORE IS DEFINED AS BOTH SELECT AND UTILIZING NNN LEASE. *(ONLY TO BE USED IF HVAC UNITS ARE GROUND MOUNTED)

1. PROVIDE 69 LINEAL FEET x 8'-0" HIGH 6 GAUGE CHAIN LINK FENCING. SCHEDULE 40 GALVANIZED PIPE.
2. PROVIDE POLYETHYLENE THERMOPLASTIC PRIVACY SLATS, COLOR TO MATCH BUILDING WITH UV INHIBITORS. USE WHEN UNITS ARE FACING STREET OR RESIDENTIAL.
3. PROVIDE (2) 30" GATES WITH COMMERCIAL GRADE HEAVY DUTY HINGES AND LOCKS, FRAMES TO BE SAME AS TOP RAIL.
4. MAINTAIN A MINIMUM OF 4'-0" IN-BETWEEN UNITS AND FENCING. FENCING IS TO BE 6" INSIDE OF THE EDGE OF CONCRETE PAD. ADJUST PAD AND FENCING DIMENSIONS ACCORDINGLY.
5. PROVIDE RAZOR COIL FULL LENGTH OF FENCING, 18" DIAMETER, GALVANIZED.
6. CONFIRM NUMBER OF UNITS AND SIZE OF UNITS AND ADJUST PAD AND FENCING ACCORDINGLY.

Memory Dr

Oak Ridge Dr

W Main St

SITE

VICINITY MAP
N.T.S.

REVISIONS:

DATE

DESCRIPTION

APPROVED

DATE

DESCRIPTION

APPROVED

Dollar General Notes

Development Plans For

Dollar General of Austin
1311 W Main Street Austin, Arkansas 7207
PB General Holdings, LLC
5110 Talley Road
Little Rock, AR 72204
(501) 219-8899

SEAL

BLEW

Surveying | Engineering
Environmental

3825 N. Shiloh Drive
Fayetteville, Arkansas 72703

Office: (479) 443-4506
www.BLEWINC.com

Certificate of Authorization # 1534

DATE: 2025-09-10

JOB NUMBER: 25-1777

DRAWN BY: H. Smith

REVIEWED BY: W. Cody Sexton

DRAWING NAME: 25-1777 Civil 001 - Details.dwg

SHEET NUMBER:

C1-1

Proposed Features:

Feature	Description
	Property Line
	Onsite Property Line
	Right-Of-Way Line
	Setback Line
	Easement Line
	Zoning Limits
	Street / Drive Centerline
	Curb And Gutter
	Thickened Edge Of Pavement
	Edge Of Gravel
	Firelane Striping
	Asphalt Pavement (See Detail Sheet For Pavement Sections)
	Concrete Pavement (See Detail Sheet For Pavement Sections)
	Concrete Sidewalk
	General Fence Line (See Site Plan For Dimensions)
	Chain Link Fence Line (See Plan For Type)
	Board Fence Line
	Parking Counter
	Storm Catch Basin(s)
	Retaining Wall
	See Utility Plan For Line Sizes
	Gate Valve
	Fire Hydrant & Assembly
	Water Meter - Single
	Water Meter - Double
	Sanitary Sewer Manhole
	Utility Pole
	Light Pole

- Note:**
- Only Symbols That Appear On This Sheet Are Shown In This Legend.
 - See Survey For Existing Features Legend.
 - See Cover Sheet For Abbreviation List.

Site General Notes:

- Dimensions are measured from the Face of Curb, the Edge of Pavement, the Edge of Sidewalk the Face/Corner of the Building(s) or the Center/End of Stripe.
- All radii shall be 4 foot at Face of Curb unless otherwise specified.
- Layout of Site Plan is based on and limited to survey information.
- All Curb & Gutter shall be 24" wide per detail sheet.
- All Pavement Marking shall be applied in accordance with the requirements outlined in the most current edition of the "Manual on Uniform Traffic Control Devices" (MUTCD).
- All Signs, Traffic Control Devices, etc. shall follow the guidelines of the MUTCD.
- The Contractor shall refer to the Architectural drawings for Building Floor plans and Dimensions, Wall Sections, Door Openings, Building Utility Entrance Points, etc. The Contractor shall immediately notify the Architect and Engineer in the event that the Civil Site Plans Building Layout does not match the Architectural drawings.
- All handicap spaces shall be striped / marked in accordance with the handicap striping detail.
- All pavement indicated shall be standard duty bituminous pavement unless otherwise noted on plan. The pavement shall be constructed in accordance with the pavement section detail.
- It is the Contractor's responsibility to calculate construction staking coordinates according to the dimensions shown on these plans. The Contractor shall verify the accuracy of the coordinates shown on the plans and notify the Engineer of any irregularities before construction starts.
- All ramps shall have detectable truncated dome panels per A.D.A. and city standards and the detail sheet

Site Information

PROPERTY INFORMATION		
Gross Site Area:	128,466.00 sf	2.95 acres
Proposed Dedicated R.O.W:	0.00 sf	0.00 acres
Net Site Area:	128,466.00 sf	2.95 acres
SITE INFORMATION		
Total Paved Area:	23,673.10 sf	0.54 acres
Total Sidewalk Area:	4,999.53 sf	0.11 acres
Total Building Area:	10,756.77 sf	0.25 acres
Total Impervious Area:	39,429.40 sf	30.7%
Total Pervious Area:	89,036.60 sf	69.3%
PARKING INFORMATION		
Provided Spaces (Total):	35	
Required Accessible Spaces:	2	
Provided Accessible Spaces:	2	

Striping Specifications

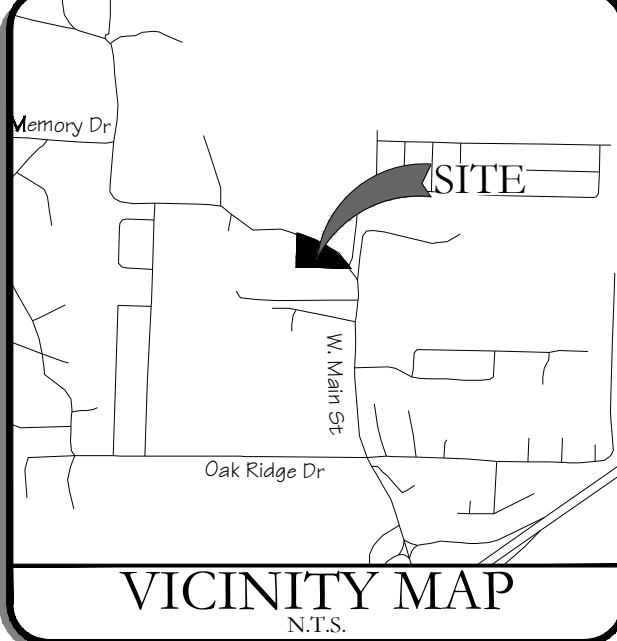
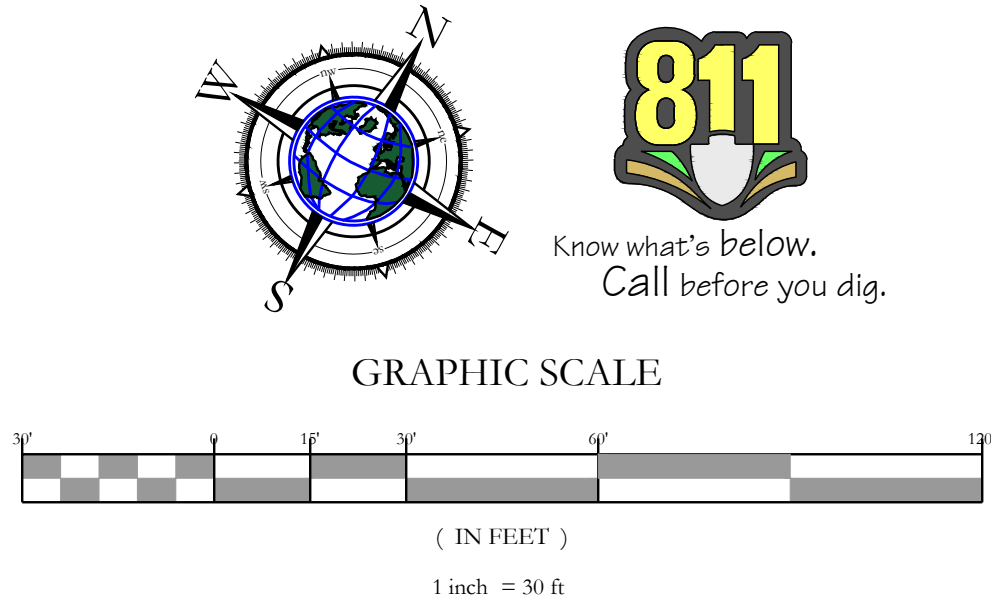
YELLOW CURBING & BOLLARDS PARKING LOT	SURFACES SHOULD BE CLEAN & DRY. METAL SURFACES SHALL BE FREE OF HEAVY RUST. SURFACES SHALL RECEIVE 2 COATS OF SHERWIN WILLIAMS - KIM 4000 ACRYLIC ALKYD ENAMEL. SAFETY YELLOW B553900
STRIPING PARKING LOT	SURFACES SHOULD BE CLEAN & DRY. TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT YELLOW TMS495
HANDICAP STRIPING PARKING LOT	SURFACES SHOULD BE CLEAN & DRY. TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT "H.C." BLUE

Sign Legend

Symbol	Code	Description	Size	Post Type
	-	Handicap Sign	12 x 18	U-Channel

Site Plan Notes:

SN-04	4" Painted Yellow Striping
SN-07	4" Wide Painted Stripes, 4'-0" o.c. @ 45°
SN-08	4" Wide Single Lane Striping - Per MUT.C.D. (See Plan for Length and Color)
SN-09	4" Wide Double Lane Striping - Per MUT.C.D. (See Plan for Length and Color)
SN-12	Accessible Ramp in Sidewalk
SN-13	At-Grade Delivery Doors
SN-17	Thickened Edge of Pavement



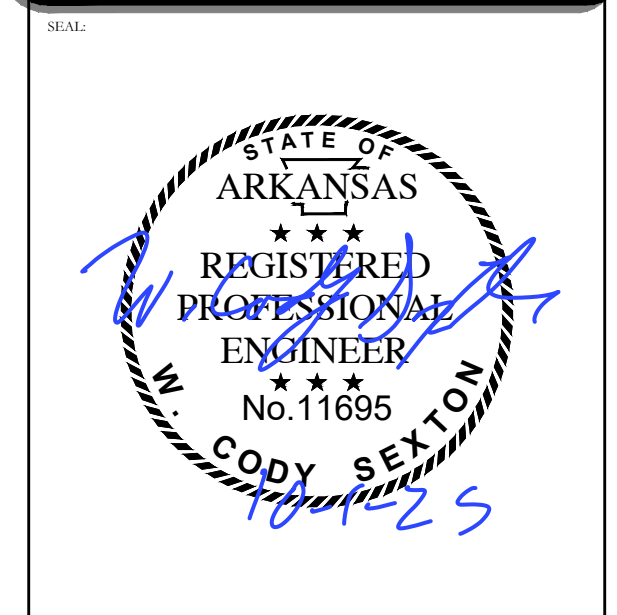
REVISIONS:	DATE:	DESCRIPTION:
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Site Plan

Development Plans For:

Dollar General of Austin
1311 W Main Street Austin, Arkansas 72007

PB General Holdings, LLC
5100 Talley Road
Little Rock, Arkansas 72204
(501) 219-8899

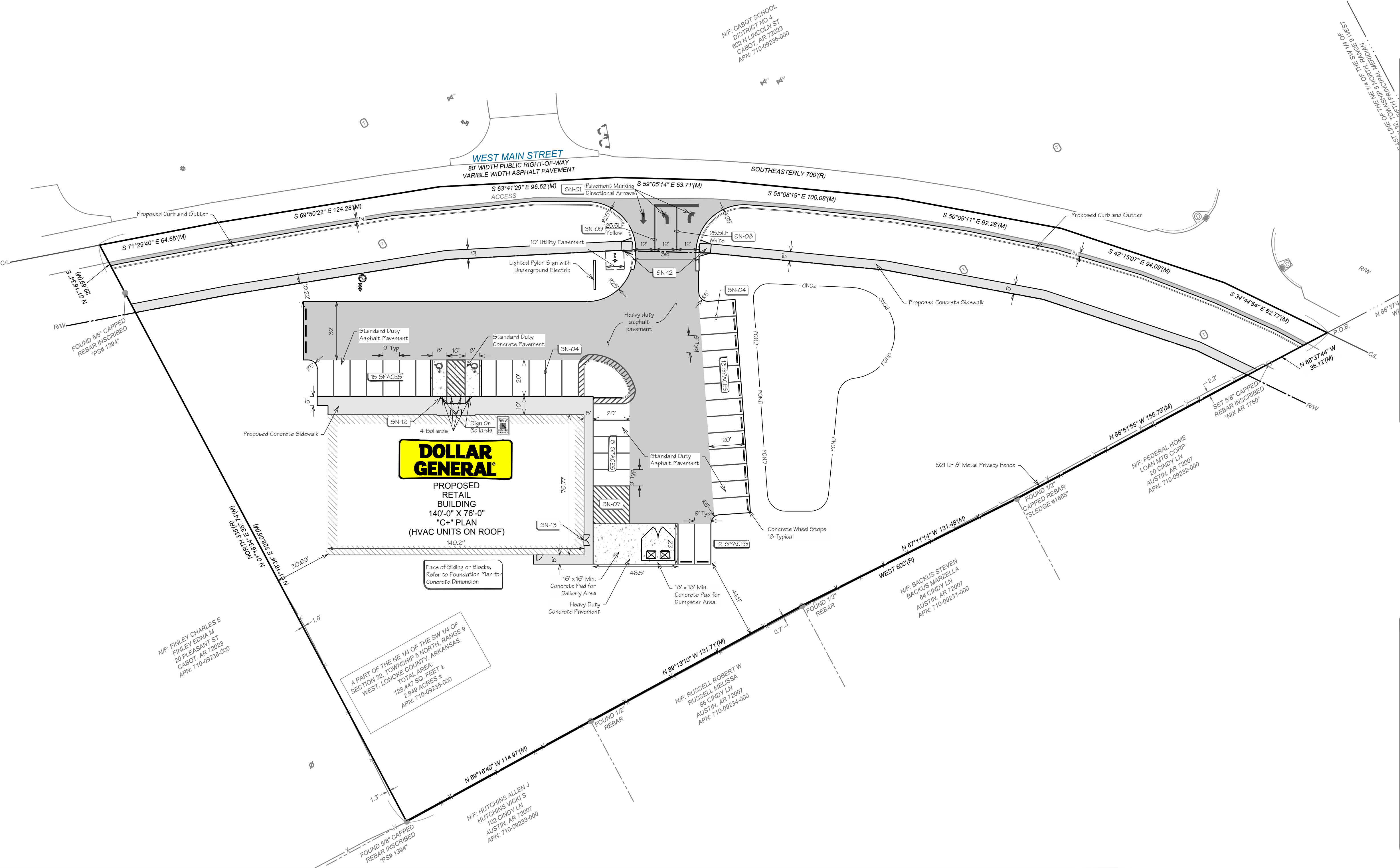


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3825 N. Shiloh Drive Fayetteville, Arkansas 72703
Office: (479) 443-4506
www.BLEWINC.com

Certificate of Authorization #1534



DATE:	2025-09-08	JOB NUMBER:	25-1777
DRAWN BY:	H. Smith	REVIEWED BY:	W. Cody Sexton
DRAWING NAME:	25-1777 Civil 001b.dwg		
SHEET NUMBER:	C2		

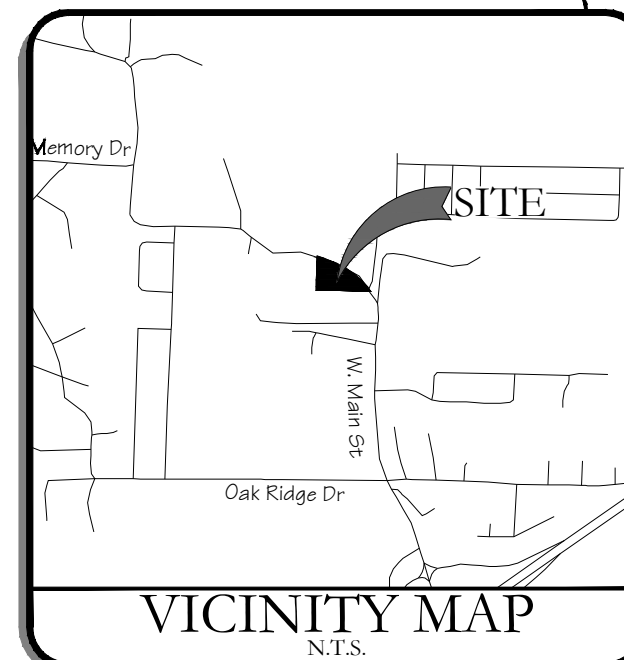
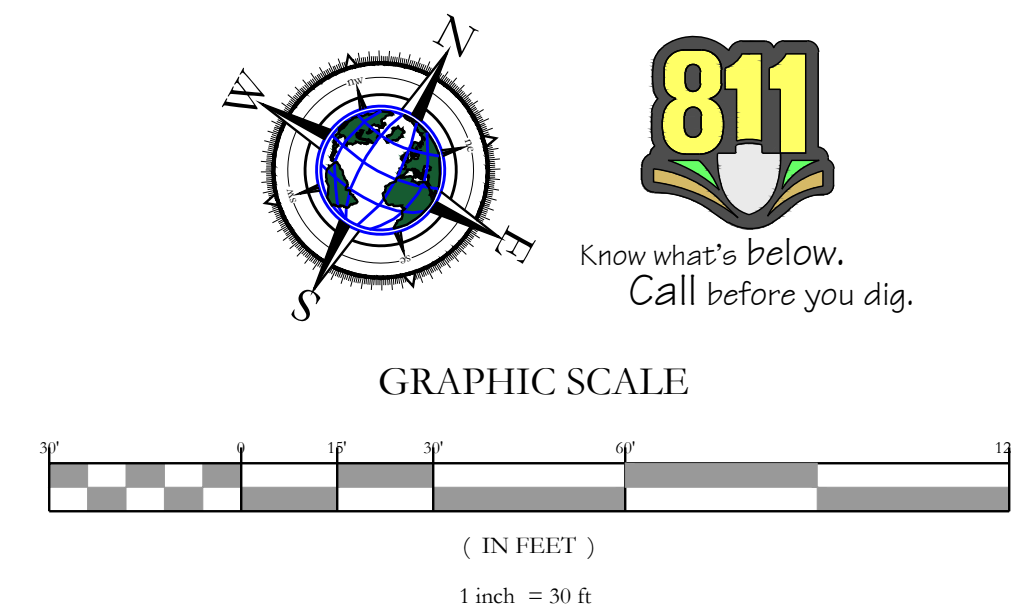




Note:

- * Only Symbols That Appear On This Sheet Are Shown In This Legend.
- * See Survey For Existing Features Legend.
- * See Cover Sheet For Abbreviation List.

Landscape Legend:

Feature	Type	Area
GRASS:		
	Grass Area (Gsd) with Irrigation design by subcontractor	34,934± SQ. FT.
	Grass Area (Gsd & Straw) Hand watered as necessary	11,426± SQ. FT.



No.	REVISIONS:		DATE
	 DESCRIPTION	 BY WHOM	
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3			
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Landscape Plan

Plans for:

Dollar General of Austin
1311 W. Main Street Austin, Arkansas 72007

PPB General Holdings, LLC
5100 Tally Road
Little Rock, Arkansas 72204
(501) 219-8899

SEAL



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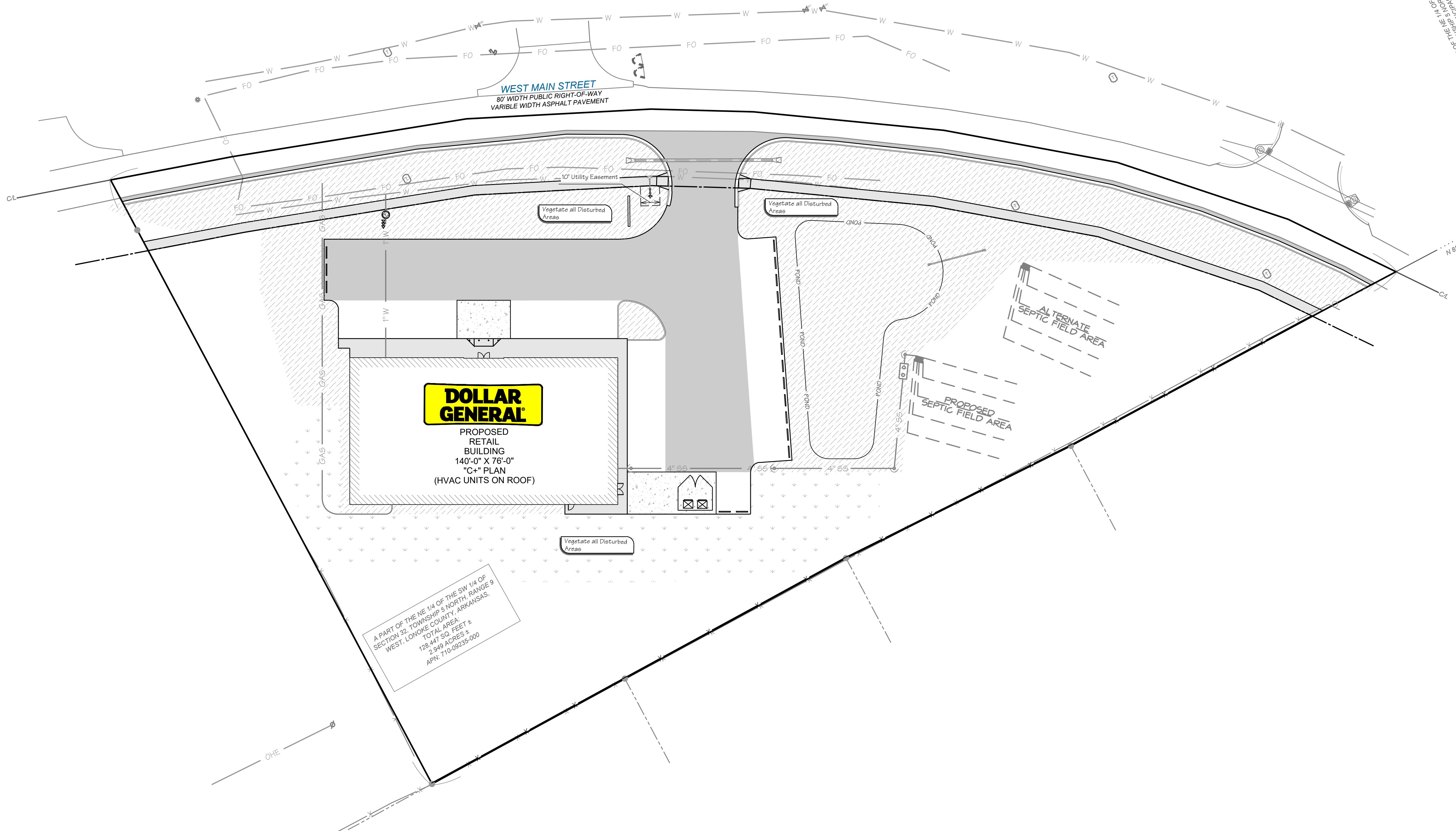
3825 N. Shiloh Drive
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Certificate of Authorization № 1534

DATE:	2025-09-08	JOB NUMBER:	25-1777
DRAWN BY:	H. Smith	REVIEWED BY:	W. Cody Sexton
DRAWING NAME:		25-1777 Civil 001b.dwg	
SHEET NUMBER:			

C2-1



p:\25-1777.dwg of austin, main street, at Civil drawings\25-1777 civil 001b.dwg - Plotted on 10/1/2025 9:16:57 AM @ a scale of 1:1 to autocad pdf (smallest file) pc3 by Harvey Smith

Proposed Features:

Feature	Description
-----	Property Line
-----	Onsite Property Line
-----	Offsite Property Line
-----	Right-Of-Way Line

Note:

- See Survey For Existing Features Legend.
- See Cover Sheet For Abbreviation List.

Demolition Notes:

- Contractor shall be responsible for removal of the Existing Structures, Related Utilities, Paving, Underground Storage Tanks and any other existing improvements as noted. Contractor is to remove and dispose of all debris, rubbish, and other materials resulting from previous and current demolition operations. Disposal shall be in accordance with all Local, State and/or Federal Regulations Governing such operations.
- The General Contractor shall take all precautions necessary to avoid property damage to adjacent properties during the construction phases of this project. The contractor will be held solely responsible for any damages to the adjacent properties occurring during the construction phases of this project.
- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. The contractor must call the appropriate utility company at least 48 hours prior to any excavation to request exact field location of utilities. It shall be the contractor's responsibility locate all existing utilities which conflict with the proposed improvements shown on the plans, whether shown or not shown at no additional cost to the owner.
- Contractor shall remove all buildings, pavement, curbs, trees, light poles, utility poles and lines from the site up to the limits of construction or the property line unless otherwise noted. Contractor shall cap/plug any water, gas, sanitary sewer or storm sewer line at the property line. Electric and Telephone lines whether overhead or underground shall be terminated at the closest utility pole or pedestal to the property line or per the Designated Utility Company's Requirements.
- It is the Contractor's responsibility to remove any and all asbestos or any other hazardous materials from the site per government guidelines and shall dispose of the hazardous materials in strict accordance to the guidelines.
- Contractor shall ensure that adequate measures are taken prior to the removal of any existing storm water / sanitary sewer systems so that the discharge of water remains uninterrupted both on and off the site.
- Contractor shall ensure that any utility service to the site shall be removed will not interrupt service to the neighboring property owners. It is the contractors responsibility to coordinate with the neighboring property owners if service will be interrupted.

Demolition Notes:

Key	Description
DEMO	Existing to be Removed / Demolished
ABNDN	Existing to Be Abandoned in Place. Refer to Governing Agency for requirements to abandon in place.
SAVE	Existing to Remain. In the case of vegetation, Contractor shall ensure survival of plants
RELOC	Existing to be Relocated.

Temp & Perm Controls:

Feature	Key	Description
	EXIT	Temporary Gravel Construction Entrance / Exit
	SILT F	Silt Fence
	GRASS	Existing Grass (See Plan For Width)
	TREE	Tree Preservation And Protection
	DIVDIKE	Temporary Diversion Dike
	WATL	Wattle
	RCD	Rock Check Dams
	RIPRAP	Rip-rap (see Plan For Size)
	INLET	Inlet Protection
	AVD	Anti-vortex Device

Note:

- Only symbols that appear on this sheet are shown in this legend.

Maintenance:

All measures stated on this erosion and sediment control plan, and in the storm water pollution prevention plan, shall be maintained in fully functional condition until no longer required for a completed phase of work or final stabilization of the site. All erosion and sedimentation control measures shall be checked by a qualified person in accordance with the contract documents or the applicable permits, whichever is more stringent, and repaired in accordance with the following:

- Inlet protection devices and barriers shall be repaired or replaced if they show signs of undermining, or deterioration.
- All seeded areas shall be checked regularly to see that a good stand is maintained. Areas should be fertilized, watered, and reseeded as needed.
- Silt fences shall be repaired to their original conditions if damaged. Sediment shall be removed from the silt fences when it reaches one-half the height of the silt fence.
- The construction entrances shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way. This may require periodic top dressing of the construction entrances as conditions demand.
- The temporary parking and storage area shall be kept in good condition (suitable for parking and storage). This may require periodic top dressing of the temporary parking as conditions demand.
- Outlet structures in the sedimentation basins shall be maintained in operational conditions at all times. Sediment shall be removed from sediment basins or traps when the design capacity has been reduced by 50%.

Sequence of Construction:

SWPPP Phase I:

- Pre-construction meeting.
- Install stabilized construction exit(s) and concrete wash area(s).
- Prepare temporary parking and storage area. Upon implementation and installation of the following areas:
 - Trailer
 - Parking & storage areas
 - Lay down
 - Porta potty
 - Wheel wash &/or concrete washout
 - Masons area
 - Fuel and material storage containers
 - Solid waste containers, etc., denote them on the site maps immediately and note any changes in the locations as they occur throughout the construction process.
- The following shall be shown on the erosion control site map upon implementation and installation:
 - Construction trailer(s)
 - Parking & storage areas
 - Lay down
 - Porta-potty
 - Wheel wash &/or concrete washout
 - Fuel and material storage containers
 - Solid waste containers, etc.

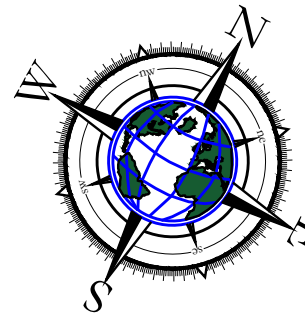
- Construct the silt fences on the site.
- Contractor shall halt all ground disturbance activities and contact the civil engineer of record to perform inspection and certification of bmps. General contractor shall schedule and conduct storm water pre-construction meeting with engineer and all ground-disturbing contractors before proceeding with construction.
- Construct the sediment basin(s) with outfall structure as shown on plan.
- Clear and grub the site.
- Start construction of building pad and structures, if any.
- Begin grading the site.

SWPPP Phase II

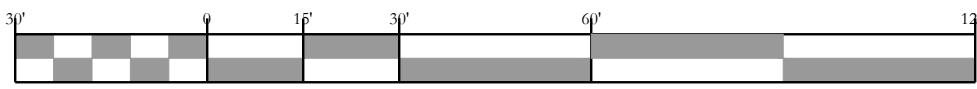
- Temporarily seed denuded areas.
- Install utilities, underdrains, storm sewers, curbs and gutters.
- Install rip rap around outlet structures where noted on plans.
- Install inlet protection around all storm sewer structures.
- Prepare site for paving.
- Pave site.
- Install inlet protection devices.
- Complete grading and install permanent seeding and planting.
- Remove all temporary erosion and sediment control devices (only if site is stabilized).

Erosion General Notes:

- The Storm Water Pollution Prevention Plan (SWPPP) is comprised of the Erosion Phase I & II construction drawings, the standard details and any related documents including City ordinance.
- Contractor shall implement best management practices as required by the SWPPP. Additional best management practices shall be implemented as dictated by conditions at no additional cost of owner throughout all phases of construction.
- Best Management Practices (BMPs) and controls shall conform to federal, state, or local requirements or manual of practice, as applicable. Contractor shall implement additional controls as directed by permitting agency or owner.
- Site map must clearly delineate all estate waters. Permits for any construction activity impacting state waters or regulated wetlands must be maintained on site at all times.
- Contractor shall minimize clearing to the maximum extent practical or as required by the general permit.
- General Contractor shall denote on plan the temporary parking and storage area which shall also be used as the equipment maintenance and cleaning area, employee parking area, and area for locating portable facilities, office trailers, and toilet facilities.
- All wash water (concrete trucks, vehicle cleaning, equipment cleaning, etc.) shall be detained and properly treated or disposed.
- Sufficient oil and grease absorbing materials and rotation booms shall be maintained on site or readily available to contain and clean-up fuel or chemical spills and leaks.
- Dust on the site shall be controlled. The use of motor oils and other petroleum based or toxic liquids for dust suppression operations is prohibited.
- Rubbish, trash, garbage, litter, or other such materials shall be deposited into sealed containers. Materials shall be prevented from leaving the premises through the action of wind or storm water discharge into drainage ditches or Waters of the State or U.S.
- All storm water pollution prevention measures presented on this plan, and in the Storm Water Pollution Prevention Plan, shall be initiated as soon as practicable.
- Disturbed portions of the site where construction activity has stopped shall be temporarily seeded no later than 14 days after the last construction activity occurring in these areas.
- Disturbed portions of the site where construction activity has permanently stopped shall be permanently seeded. These areas shall be seeded no later than 14 days after the last construction activity occurring in these areas. Refer to the grading plan and/or landscape plan.
- If the action of vehicles traveling over the gravel construction entrances is not sufficient to remove the majority of dirt or mud, then the tires must be washed before the vehicles enter a public road. If washing is used, provisions must be made to intercept the wash water and trap the sediment before it is carried off the site.
- All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm drains must be removed immediately.
- Contractors or Subcontractors will be responsible for removing sediment in the detention pond and any sediment that may have collected in the storm sewer drainage systems in conjunction with the stabilization of the site.
- On-site & offsite soil stockpile and borrow areas shall be protected from erosion and sedimentation through implementation of best management practices. Stockpile and borrow area locations shall be noted on the site map and permitted in accordance with general permit requirements.
- Slopes shall be left in a roughened condition during the grading phase to reduce runoff velocities and erosion.
- Due to the grade changes during the development of the project, the Contractor shall be responsible for adjusting the erosion control measures (silt fences, straw bales, etc.) to prevent erosion.
- All construction shall be stabilized at the end of each working day, this includes backfilling of trenches for utility construction and placement of gravel or bituminous paving for road construction.

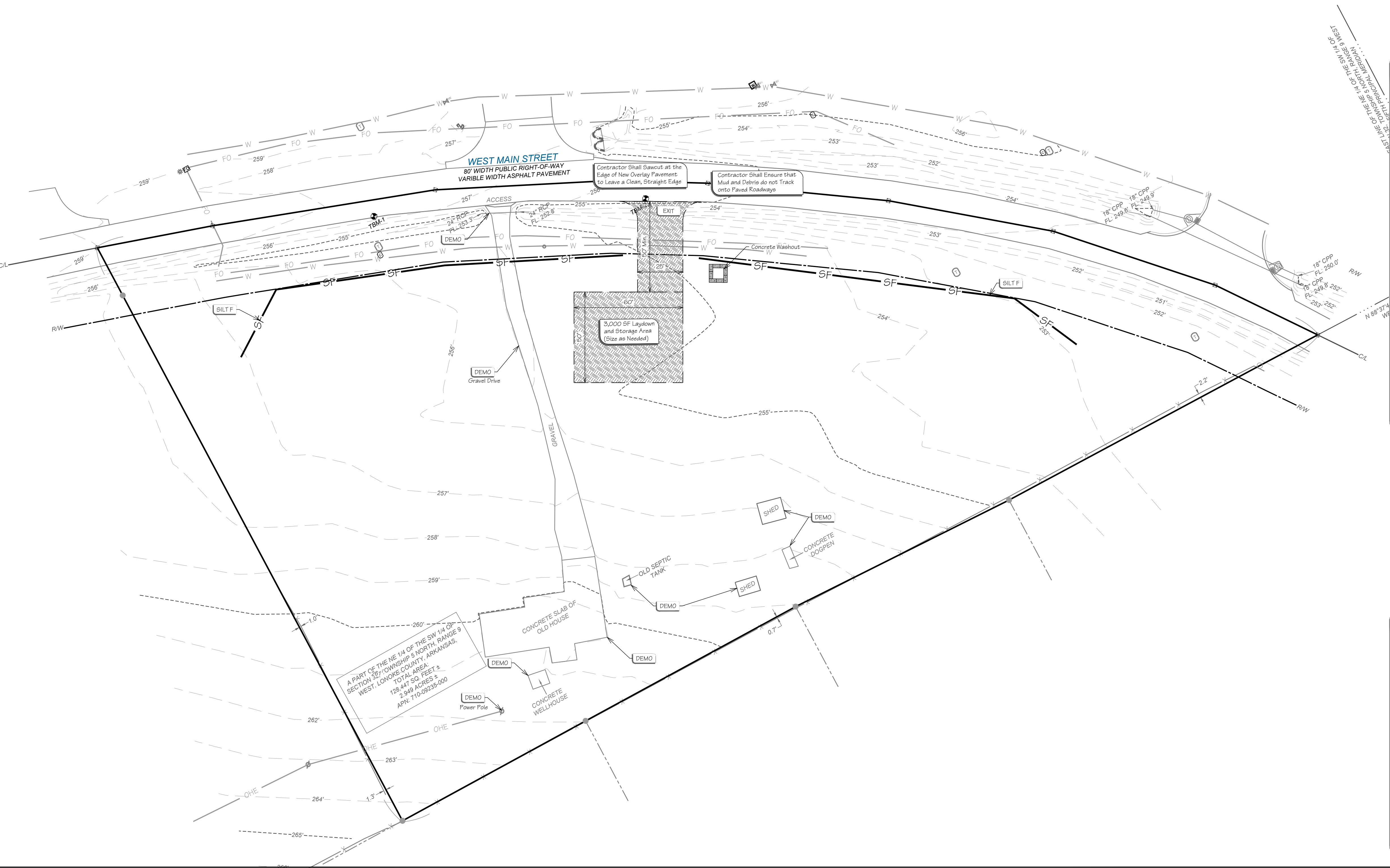


GRAPHIC SCALE



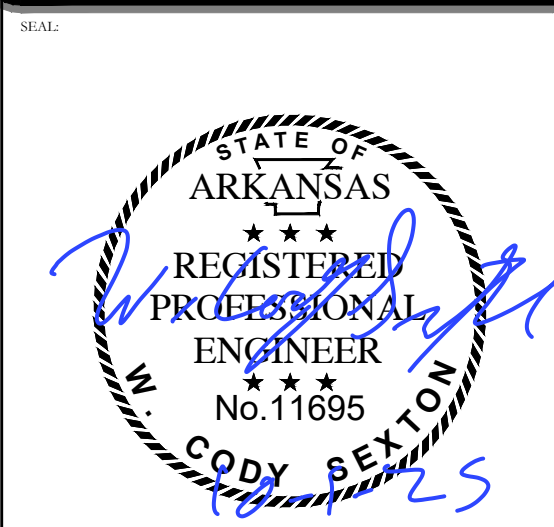
(IN FEET)

1 inch = 30 ft



Demolition and Erosion Control Plan Ph I

Development Plans For:
Dollar General of Austin
1311 W Main Street Austin, Arkansas 72007
PB General Holdings, LLC
5100 Talley Road
Little Rock, Arkansas 72204
(501) 219-8899



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DRAWN BY:	H. Smith	REVIEWED BY:	W. Cody Sexton
DRAWING NAME:	25-1777 Civil 001b.dwg		
SHEET NUMBER:	C3		

Feature	Description
	Property Line
	Onsite Property Line
	Offsite Property Line
	Right-of-Way Line
	Easement Line
	Street / Drive Centerline
	Curb And Gutter
	(See Site Plan For Size)
	Thickened Edge Of Pavement
	Edge Of Gravel
	Asphalt Pavement (See Detail Sheet For Pavement Sections)
	Concrete Pavement (See Detail Sheet For Pavement Sections)
	Concrete Sidewalk (See Site Plan For Dimensions)
	General Fence Line
	(See Plan For Type)
	Chain Link Fence Line
	Board Fence Line
	Storm Catch Basin(s)
	Ditch Line
	Fault Line / Grade Change
	Storm Pipe (See Grading Plan For Type and Size)
	Retaining Wall
	<u>See Utility Plan For Line Sizes</u>
	Water Line
	Tee, Cross, Bends, Gate Valve and Reducer
	Fire Hydrant & Assembly
	Water Meter - Single
	Water Meter - Double
	Sanitary Sewer Force Main
	Sanitary Sewer Line
	Sanitary Sewer Service
	Sanitary Sewer Manhole
	Gas Line
	Overhead Electric Line
	Underground Electric Line
	Cable Television Line
	Fiber Optic Line
	Underground Telephone Line
	Underground Telephone Line
	Utility Pole
	Light Pole

Grading Notes:

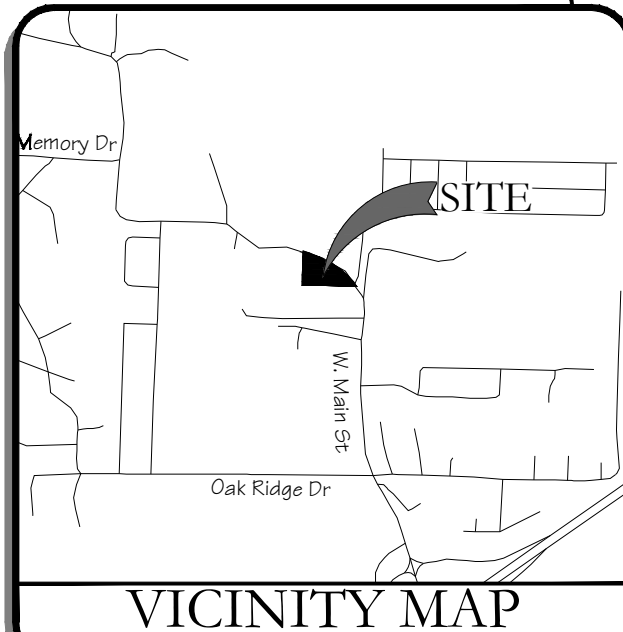
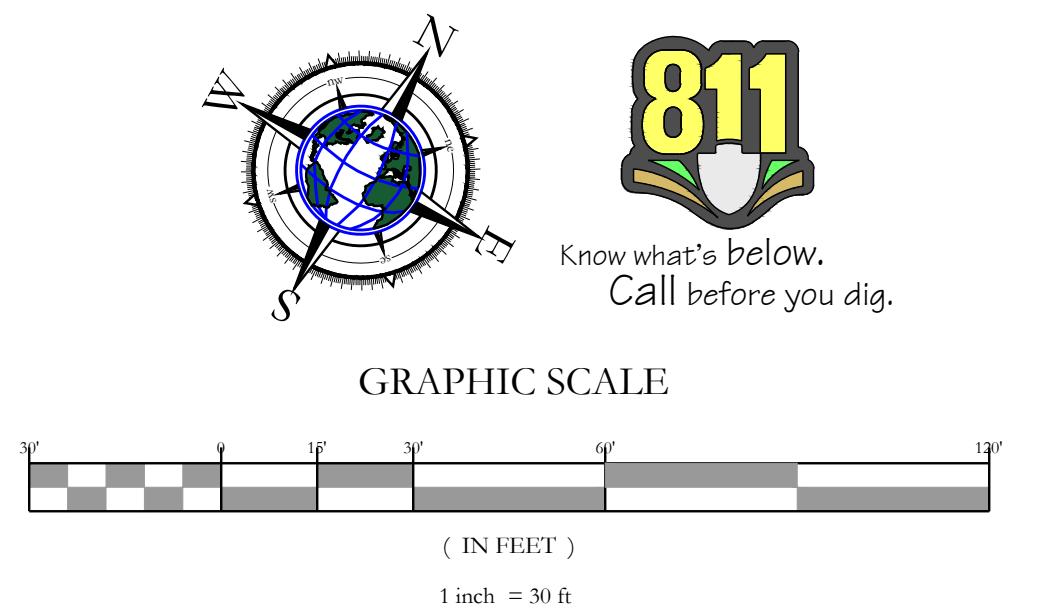
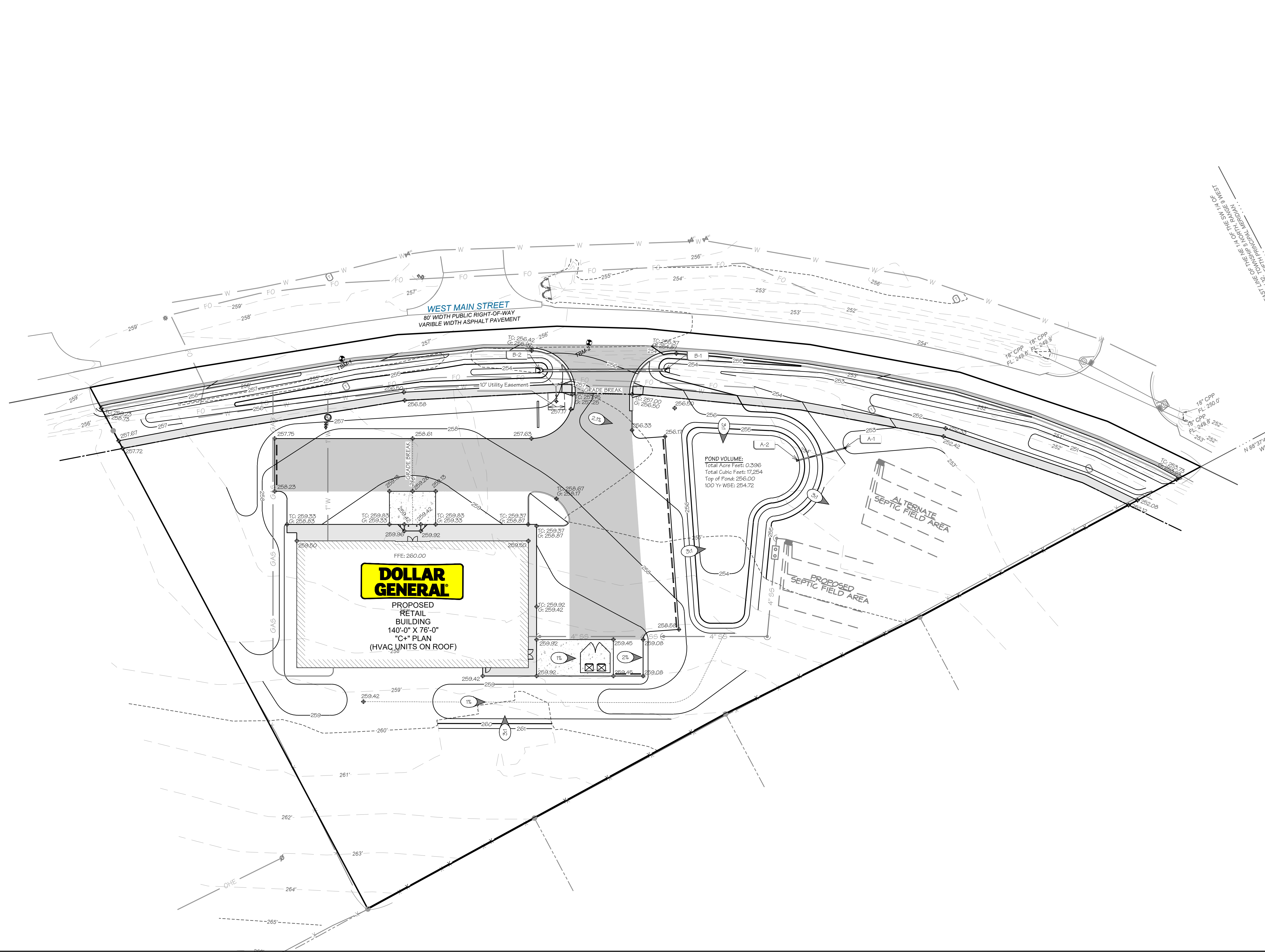
PRE-CONSTRUCTION:



- GENERAL:**
- X Contractor shall install/use all required equipment so as to comply with all safety standards dictated by OSHA, Federal, State, and Local Regulations.
 - X Contractor shall coordinate with appropriate Utility Company as listed on the cover sheet for adjustment of utility lines affected by cut and fill.
 - X Areas to be graded shall be cleared and grubbed so as to remove all organic material including but not limited to vegetation, trees, rocks, debris or other materials that would affect the stability of the fill. If uncertainty exists as to the suitability of any material, the contractor shall have a Registered Geotechnical Engineer make the final determination.
 - X Contractor shall ensure that the fill material be free of organic materials, frozen materials, muck, highly compressible materials, rocks, rubbish, timber, brush, stumps, building debris, and other materials that would negatively affect the fill material.
 - X Contractor shall stock pile and maintain all good top soil removed from areas to be graded and filled for use in final grading all critical / unpaved areas.
 - X Contractor shall proof roll subgrade of all areas to be paved prior to installation of paving materials. Any soft areas shall be removed and replaced with select fill and compacted as noted in the pavement section shown on the detail sheet.
 - X Contractor shall employ a Geotechnical Engineering / Inspection Firm registered with the State of Arkansas for inspection and testing of subgrade for proper compaction (95% standard proctor).

- X All drainage structures under paved areas and / or areas expecting heavy duty traffic loading shall be designed to meet AASHTO Heavy Duty (H20) traffic loading.
- X Storm pipe / box shall be bedded in accordance with the bedding detail and in accordance with the specifications of ASTM D2321 (latest edition available at <http://www.ASTM.org>).
- X Storm system is measured from the center of the box and from the end of the flare/d end sections.
- X Drainage structures shall be constructed so that the appropriate section of the box, such as the gutter for curb inlets, the grate for drop inlets, is at an elevation that will allow for the maximum drainage into the box in accordance with proposed grades and spot elevation shown on the plan. The contractor shall notify the engineer of record in the event of a discrepancy.
- X All drainage structures located within the State or Local Right of Way shall be constructed in accordance with the specifications and details of the Appropriate Governing Agency.

- ✗ Contractor shall scarify any area to allow to receive top soil to a min. depth of 2".
- ✗ All unpaired disturbed areas shall be graded smooth and receive a minimum of 4" of topsoil. The area shall be seeded and / or sodded in accordance with the landscape plan. The area shall be watered until a hardy cover of grass has been established and 80% of the site has been stabilized in accordance with ADEQ's Construction General Permit (ARR150000).
- ✗ Once the site has reached final stabilization in accordance to the requirements set forth in ADEQ's Construction General Permit, the contractor shall file a notice of termination.

Inlet Up	Top Elev.	Inv. Up	Length	Size	Type	Slope	Inv. Dn	Inlet Dn
STORM LINE "A"								
A-2	253.64	253.14	28 LF	6 in	HDPE	@ 0.50%	253.00	A-1
STORM LINE "B"								
B-2	255.11	253.61	72 LF	18 in	RCP	@ 0.50%	253.25	B-1



REVISES:  MR. MR. 		PROJECT	
No.	DISCUSSION	DATE	
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Grading & Drainage Plan

Plans For:

Dollar General of Austin
1311 W Main Street Austin, Arkansas 72007

PB General Holdings, LLC
5100 Talley Road
Little Rock, Arkansas 72204
(501) 219-8899



3130M

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Surveying | Engineering
Environmental

3825 N. Shiloh Drive
Fayetteville, Arkansas 72703

Office: (479) 443-4506
www.BLEWINC.com

Certificate of Authorization № 1534	
DATE:	JOB NUMBER: 25-1777
DRAWN BY: H. Smith	REVIEWED BY: W. Cody Sexton
DRAWING NAME: 25-1777 Civil 001b.dwg	
SHEET NUMBER:	

C4

Proposed Features:

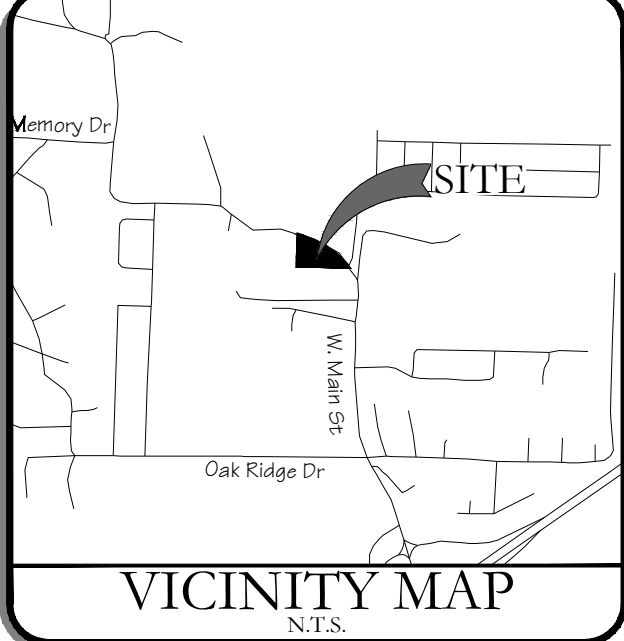
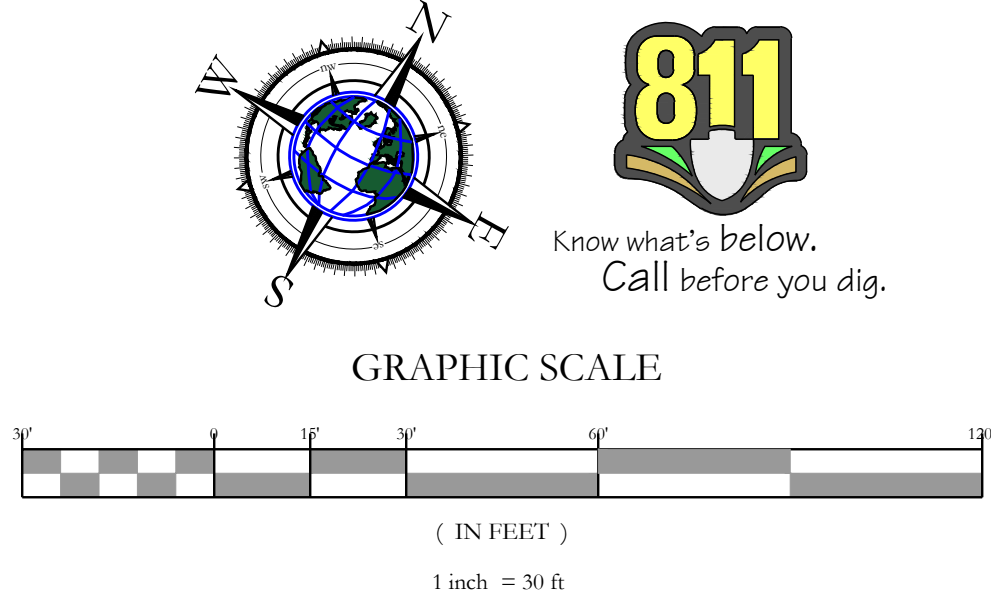
Feature	Description
	Property Line
	Onsite Property Line
	Offsite Property Line
	Right-Of-Way Line
	Easement Line
	Curb And Gutter
	Thickened Edge Of Pavement
	Edge Of Gravel
	Asphalt Pavement (See Detail Sheet For Pavement Sections)
	Concrete Pavement (See Detail Sheet For Pavement Sections)
	Concrete Sidewalk
	(See Site Plan For Dimensions)
	General Fence Line
	Chain Link Fence Line
	Board Fence Line
	Storm Catch Basin(s)
	Storm Pipe (See Grading Plan For Type and Size)
	Retaining Wall
	Water Line
	Tee, Cross, Bends, Gate Valve & Reducer
	Fire Hydrant & Assembly
	Water Meter - Single
	Water Meter - Double
	Sanitary Sewer Force Main
	Sanitary Sewer Line
	Sanitary Sewer Service
	Sanitary Sewer Manhole
	Gas Line
	Overhead Electric Line
	Underground Electric Line
	Cable Television Line
	Fiber Optic Line
	Overhead Telephone Line
	Underground Telephone Line
	Utility Pole
	Light Pole

Note:

- Only Symbols That Appear On This Sheet Are Shown In This Legend.
- See Survey For Existing Features Legend.
- See Cover Sheet For Abbreviation List.

General Utility Notes:

- THE CONTRACTOR SHALL CONTACT "ARKANSAS ONE-CALL" AND/OR THE APPROPRIATE UTILITY COMPANY A MINIMUM OF 48 HOURS PRIOR TO EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY EXISTING UTILITY LINES AND SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY FOR REPAIR OF THE UTILITY.
- A PRE-CONSTRUCTION MEETING SHALL BE HELD PRIOR TO UTILITY CONSTRUCTION. THE CONTRACTOR SHALL SCHEDULE THE PRE-CONSTRUCTION MEETING WITH THE APPROPRIATE UTILITY AS REQUIRED AND WITH THE ENGINEER OF RECORD FOR THE PROJECT.
- WATER AND SEWER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH AUSTIN PUBLIC WORKS SPECIFICATION REQUIREMENTS FOR THE CONSTRUCTION OF WATER AND SEWER FACILITIES.
- WATER AND STORM LINES SHALL HAVE A MINIMUM OF EIGHTEEN (18) INCHES VERTICAL SEPARATION AND TEN (10) FOOT HORIZONTAL SEPARATION FROM SANITARY SEWER LINES. ENCASEMENTS MAY BE REQUIRED AS NOTED ON PLAN AND PROFILES.
- ALL PLUGS, CAPS, TEES, AND BENDS SHALL BE PROVIDED WITH REACTION BACKING / THRUST BLOCKING OR SHALL BE RESTRAINED JOINT PIPE. THE FITTING MUST BE BRACED AGAINST UNEXCAVATED EARTH AT THE END THE TRENCH WITH 3000 psi PC CONCRETE. RETAINER GLANDS MAY BE REQUIRED, AS DETERMINED BY AUSTIN PUBLIC WORKS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL OR PLUMBING DRAWINGS FOR UTILITY CONNECTION LOCATIONS FOR THE BUILDING.
- DIMENSIONS ARE TO THE FACE / CORNER OF THE BUILDING, FACE OF CURB, AND CENTERLINE OF PIPE AND FITTING.
- CONTRACTOR SHALL COORDINATE DISRUPTION OF UTILITY SERVICE(S) WITH ALL AFFECTED PROPERTY OWNERS.
- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THE DRAWINGS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS AND WE ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OF THEIR DEPICTED LOCATION(S) ON THESE DRAWINGS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN, AND ALL OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE DRAWINGS BY VERIFICATION OF THEIR LOCATION IN THE FIELD PRIOR TO THE INITIATION OF THE ACTUAL PORTION OF THEIR WORK.
- CONTRACTOR SHALL OBTAIN AUTHORIZATION FROM AUSTIN PUBLIC WORKS PRIOR TO CONNECTION TO ANY EXISTING WATER LINE, SEWER LINE, OR SEWER MANHOLE.
- PROPOSED UTILITIES THAT ARE TO BE BURIED WITHIN THE SAME TRENCH SHALL BE COORDINATED WITH AND APPROVED BY THE APPROPRIATE UTILITY COMPANIES.
- PROPOSED UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS / SPECIFICATIONS OF THE GOVERNING AGENCY.
- CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY FOR ADJUSTMENT OF UTILITY LINES AFFECTED BY CUT AND FILL.
- CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY FOR ROUTING OF GAS, TELEPHONE, CABLE, AND ELECTRICITY AS REQUIRED.
- CONTRACTOR SHALL MAINTAIN A MIN. OF 5 FOOT SEPARATION FROM WATER/SEWER AND STORM SEWER, GAS, ELECTRIC, STREET LIGHTS AND TELEPHONE AS REQUIRED.



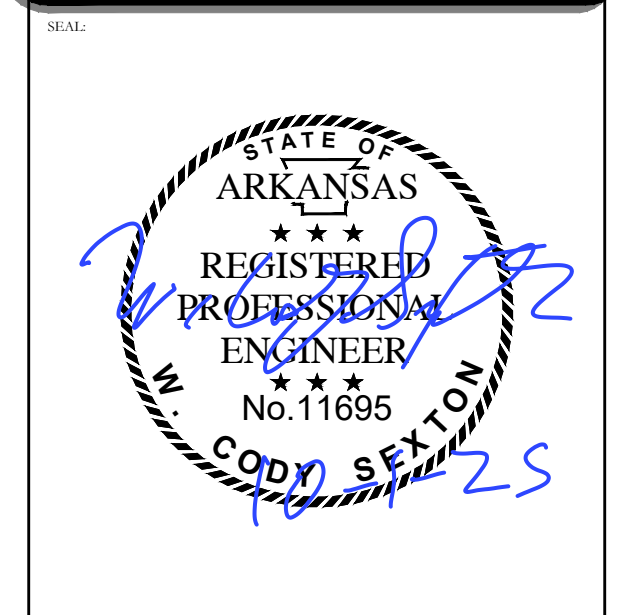
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Utility Plan

Development Plans For:

Dollar General of Austin
1311 W Main Street Austin, Arkansas 72007

PB General Holdings, LLC
5100 Talley Road
Little Rock, Arkansas 72204
(501) 219-8899

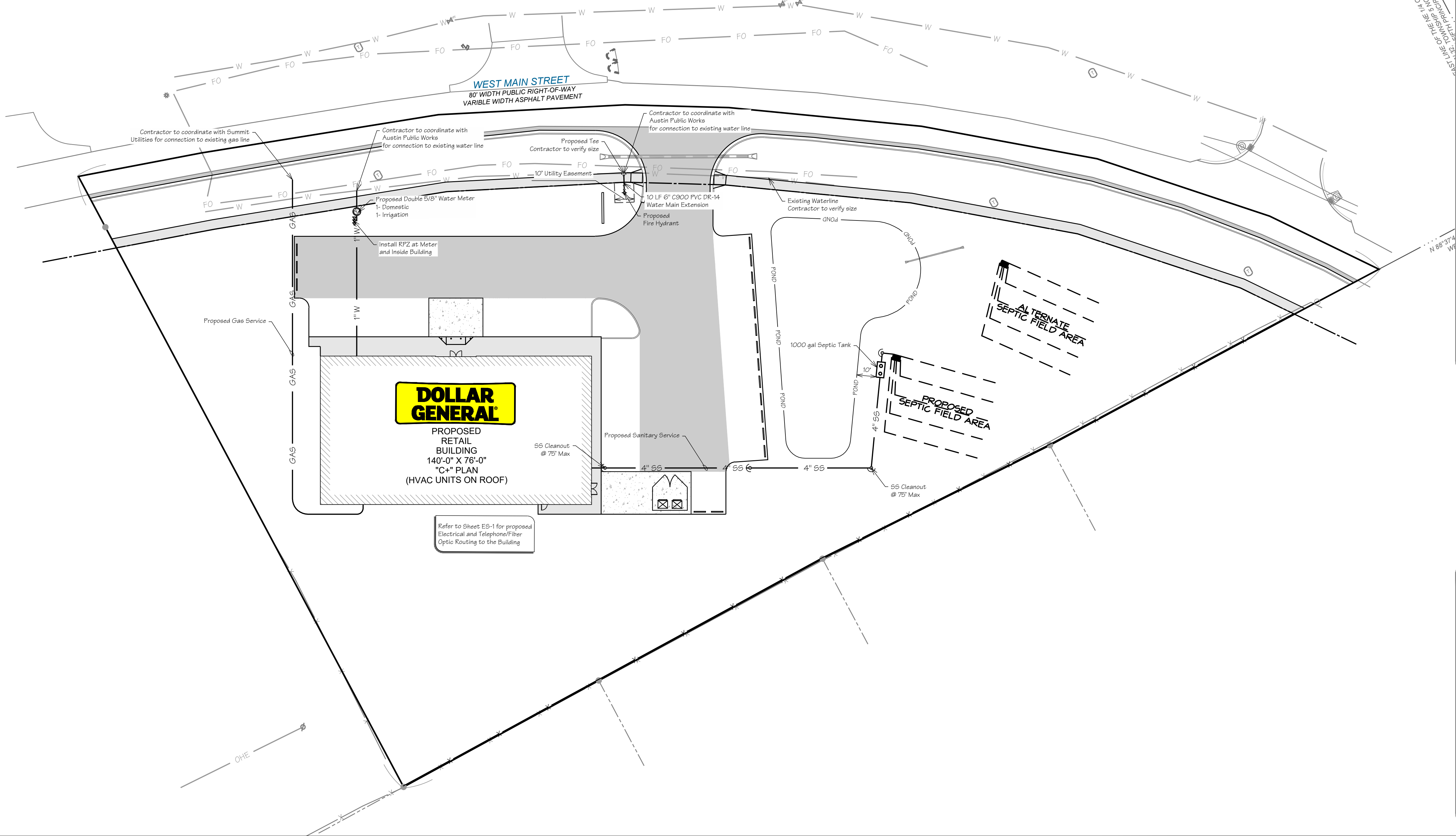


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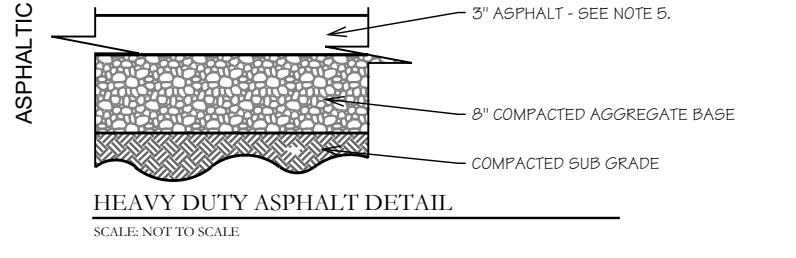
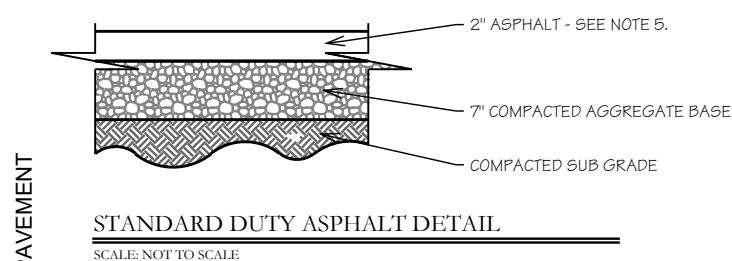
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DRAWING NAME:	25-1777 Civil 001b.dwg		
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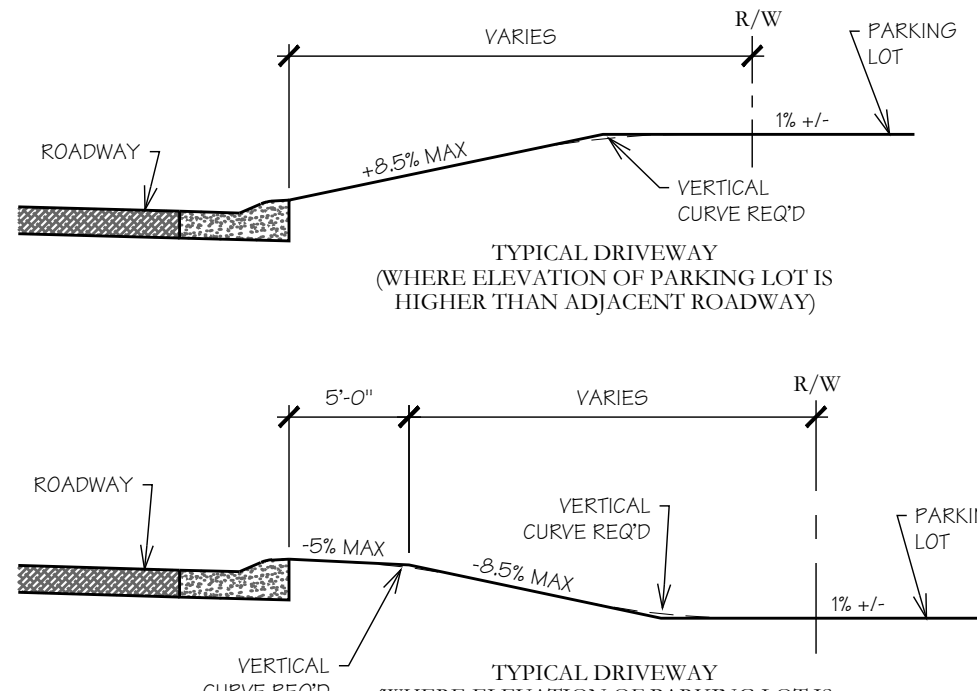


PAVEMENT DETAILS

- DETAILS ARE DOLLAR GENERAL STANDARD REQUIREMENTS AND MAY INCREASE OR DECREASE WITH VARIOUS SOIL CONDITIONS. A GEOTECHNICAL INVESTIGATION WITH PAVEMENT DESIGN RECOMMENDATIONS SHALL BE COMPLETED FOR EACH DEVELOPMENT. THE FOLLOWING DETAILS ARE MINIMUM DOLLAR GENERAL PAVEMENT REQUIREMENTS. INCREASED RECOMMENDATIONS ARE AVAILABLE.
- THE SURGRADE MATERIALS SHALL BE PROOF ROLLED AND/OR SCARIFIED AND COMPACTED PRIOR TO PLACEMENT OF BASE MATERIAL. WHERE EXISTING SURGRADE MATERIALS ARE UNDESIRABLE, THEY SHALL BE REMOVED AND REPLACED WITH COMPACTED SELECT MATERIAL IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS. INCREASED RECOMMENDATIONS ARE AVAILABLE.
- HEAVY DUTY CONCRETE PAVEMENT AND STANDARD DUTY CONCRETE PAVEMENT (AS RECOMMENDED BY THE GEOTECHNICAL REPORT) TO DOLLAR GENERAL MINIMUM SHALL BE STEEL REINFORCED. REINFORCEMENT TYPE SHALL BE PROOF APPROVED BY DOLLAR GENERAL.
- CONCRETE PAVEMENT PLAN SHALL BE PROVIDED TO DOLLAR GENERAL FOR PRIOR APPROVAL. ALL CONCRETE SHALL BE READY WITH AN APPROVED SEALANT. STEEL REINFORCING SHALL BE USED AT JOINTS. REFER TO A-2 FOR GUIDANCE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS FOR JOINT DESIGN AND LAYOUT.
- THE DENSITY OF ALL ASPHALT PAVING SHALL BE BETWEEN 90% AND 96% (ASTM D2041). TESTING BY GC.



NOTE: SEE SOILS REPORT FOR PREPARATION AND COMPACTION UNDER BUILDING AND PAVING

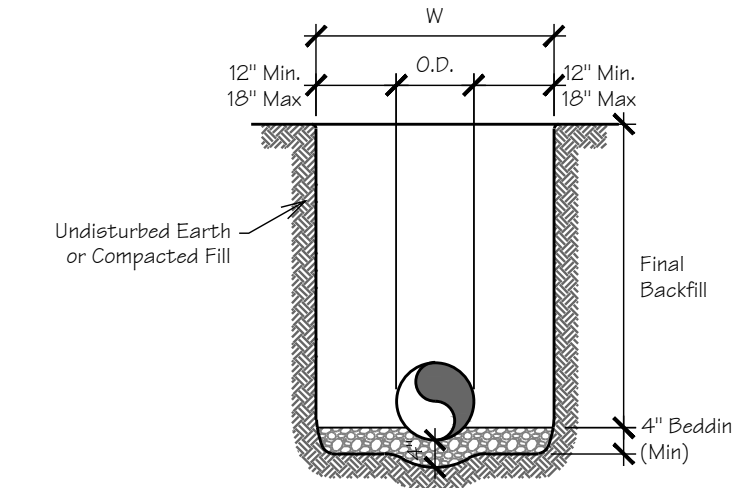


DRIVEWAY DETAIL NOTES:

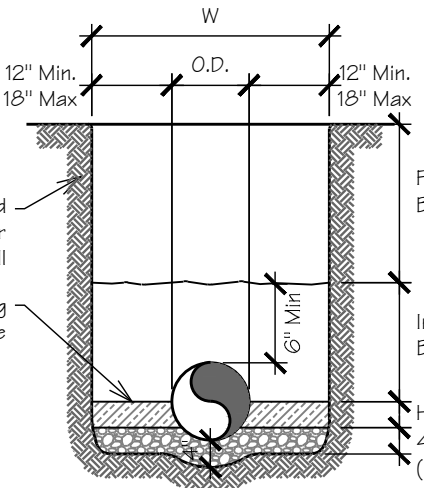
- DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH JURISDICTIONAL REQUIREMENTS AND DOLLAR GENERAL REQUIREMENTS SHOWN HEREIN. DRIVEWAY GRADES SHOWN HEREIN ARE DOLLAR GENERAL'S PREFERRED MAXIMUM AND MINIMUM GRADES. IT IS UNDERSTOOD THAT EXCEPTIONS TO THESE REQUIREMENTS MAY BE REQUIRED AT SOME SITES BASED ON ACCEPTABLE GRADING REQUIREMENTS AT DIFFERENT GEOGRAPHIC REGIONS THROUGHOUT THE USA. HOWEVER, ANY EXCEPTIONS SHALL BE SUBMITTED TO DOLLAR GENERAL ARCHITECTURAL AND ENGINEERING DEPARTMENT FOR PRIOR APPROVAL. SUBMITTAL SHALL INCLUDE DATA INDICATING THAT PROPOSED DESIGN IS IN ACCORDANCE WITH JURISDICTIONAL (CITY, COUNTY, STATE, ETC.) ACCEPTABLE STANDARDS. DATA SHALL INCLUDE DRAWING DETAILS, LOCAL JURISDICTIONAL APPROVALS (LETTERS, PERMITS, COPIES OF LOCAL DESIGN GUIDELINES, ETC.), AND ENGINEERING DATA THAT ILLUSTRATES THAT A TYPICAL DOLLAR GENERAL TRACTOR TRAILER DELIVERY TRUCK CAN ACCESS THE SITE WITHIN NORMAL OR REASONABLE MANEUVERING TOLERANCES. SUBMITTAL SHALL INCLUDE A SIGNED AND PROFESSIONALLY SEALED LETTER FROM A LICENSED CIVIL ENGINEER CERTIFYING THAT THE DESIGN IS IN ACCORDANCE WITH APPLICABLE GOVERNING AGENCY(ES) REQUIREMENTS. DOLLAR GENERAL DELIVERY TRUCK INGRESS AND EGRESS REQUIREMENTS SHOULD BE VERIFIED THROUGH DOLLAR GENERAL ARCHITECTURAL AND ENGINEERING DEPARTMENT. DEVELOPER SHALL CONTACT DOLLAR GENERAL ARCHITECTURAL AND ENGINEERING DEPARTMENT TO DETERMINE WHICH TYPE OF DELIVERY TRUCK THE DESIGN SHALL BE BASED UPON.
- VERIFY JURISDICTIONAL REQUIREMENTS WILL ALLOW THE PAVEMENT TO SLOPE DIRECTLY TO THE ROAD AS SHOWN ON THE DETAIL WHERE THE PARKING LOT IS HIGHER THAN THE ROAD ELEVATION. MAINTAIN POSITIVE SLOPE AWAY FROM THE BUILDING TO PREVENT FLOODING.

Driveway Detail

Scale: 1/8" = 1'-0"



RIGID PIPE



FLEXIBLE PIPE

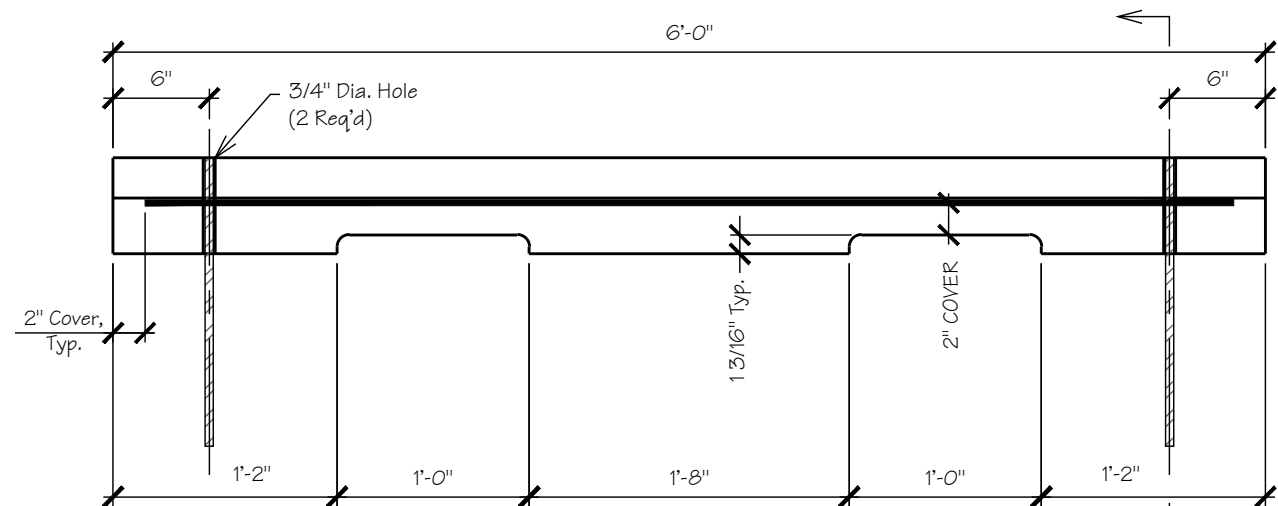
GENERAL NOTES

- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 95% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR.
- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3, AND 4.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-00.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 6" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR THE SOIL TYPES LOCATED ON THE THIS SITE AND SHALL FOLLOW THE GEOTECH RECOMMENDATIONS.

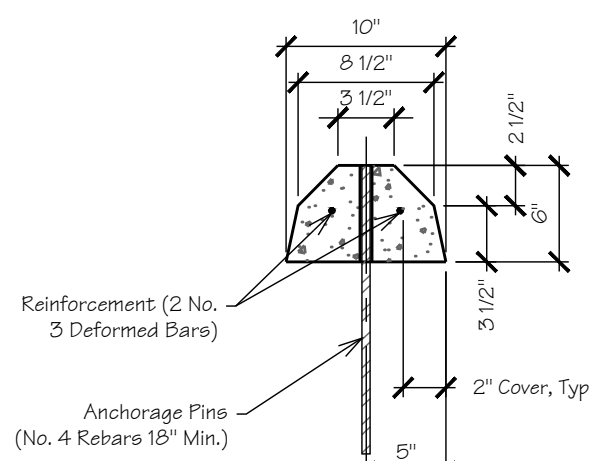
STORM SEWER TRENCH AND BEDDING

NOT TO SCALE

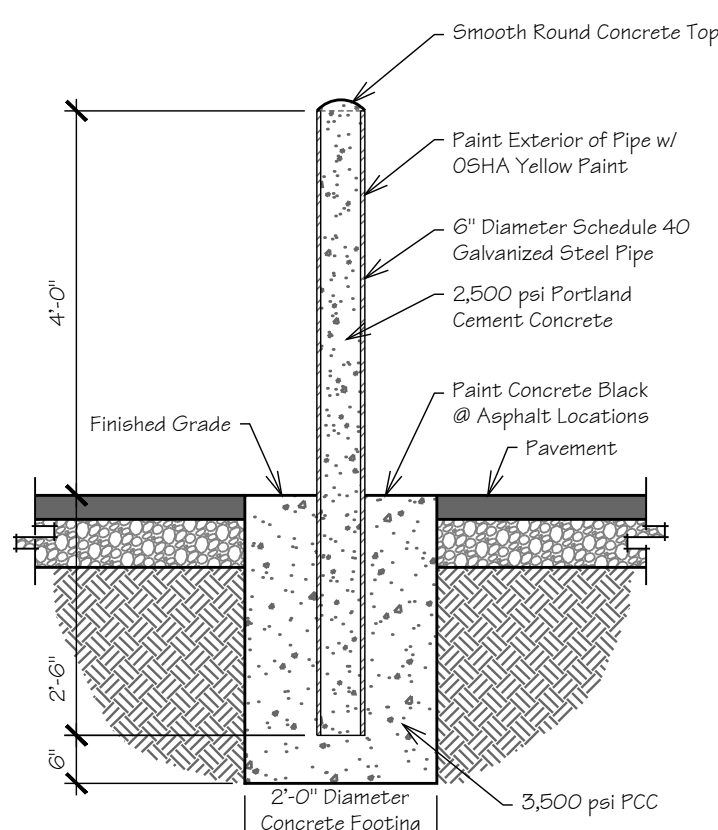


Concrete Wheel Stop Detail

Scale: 1" = 1'-0"

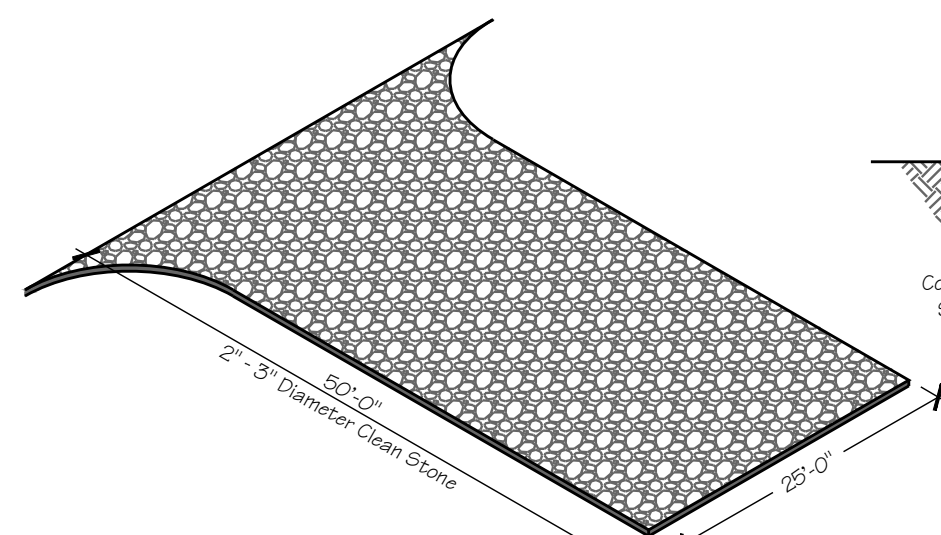


Section A-A



Bollard Detail

Scale: 1/2" = 1'-0"

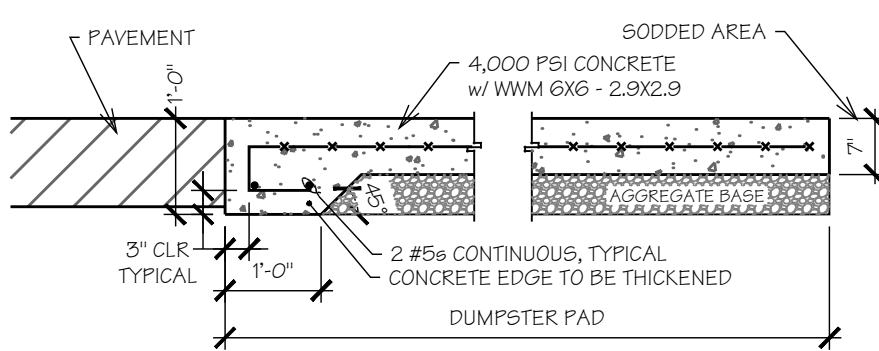


Construction Entrance Detail

Scale: 1/16" = 1'-0"

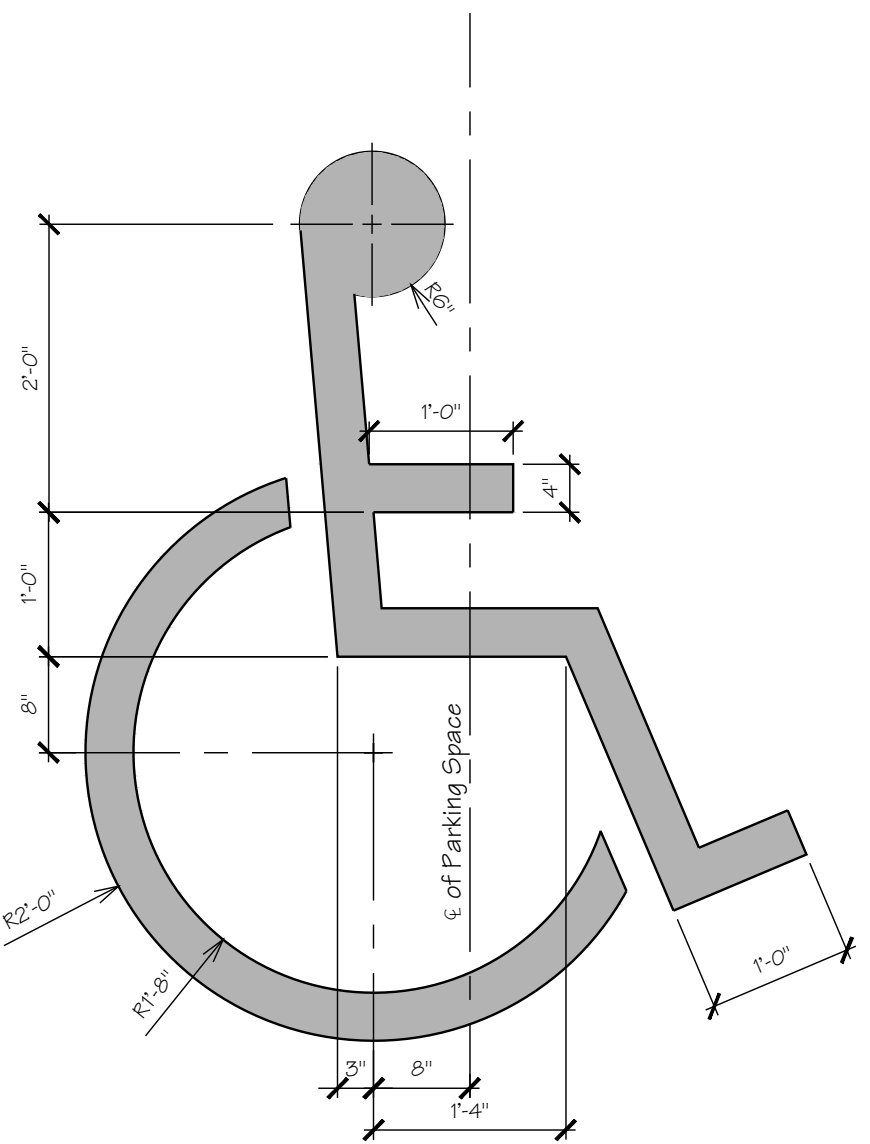
Dumpster Pad Cross Section Detail

Scale: 1/2" = 1'-0"



Accessible Striping Detail

Scale: 3/4" = 1'-0"

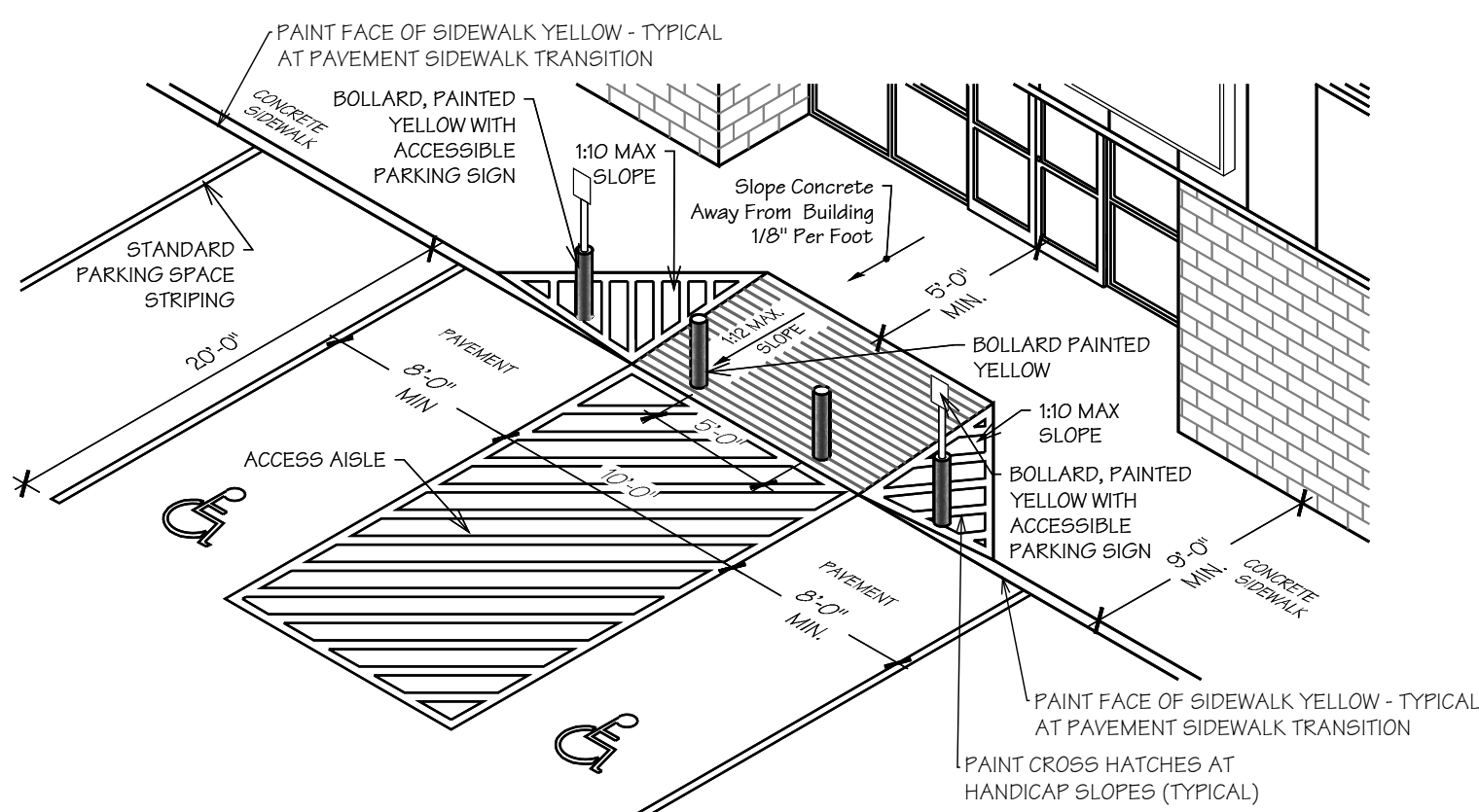


Notes and Specifications:

- Posts shall be a minimum length of thirty-six (36) inches constructed of either of the following materials: Steel "1" or "1 1/2" type, or 2" x 2" hardwood.
- Woven Wire used as additional fence support shall be Minimum 14.5 gauge with six (6) inch Maximum Mesh Spacing.
- Woven Wire shall be placed along the uphill side of the fence and fastened with Wire Ties or one (1) inch staples along the uphill side of the posts.
- Filter Fabric shall be fastened to Woven Wire according to Manufacturer's recommendation, or with ties every twenty four (24) inches at the top and mid-sections.
- Where two pieces of Filter Fabric adjoin each other they shall be overlapped by six (6) inches and folded together.
- Where two posts meet to join fence sections, the tops of the posts shall be secured together with wire.
- The fence shall be constructed along the contour as much as possible.
- Ends of fences shall be extended up the slope to prevent runoff from migrating around the end of the fence.
- Inspection of the fence shall be performed weekly, or immediately after a rain event, or when bulges appear in the fence. accumulated silt shall not be allowed to exceed half the height of the fabric. repair and or replacement of damaged fence shall be completed promptly.
- Accumulated silt shall be removed and disposed of in an approved site in such a manner that it will not contribute to off-site siltation.
- All fencing shall be removed when the construction site is fully stabilized so as to not impede storm flow or drainage.
- Pre-fabricated units do not require the use of woven wire fence.

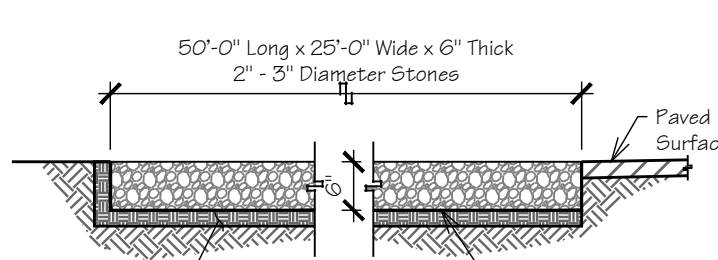
Silt Fence Detail

Scale: 3/4" = 1'-0"



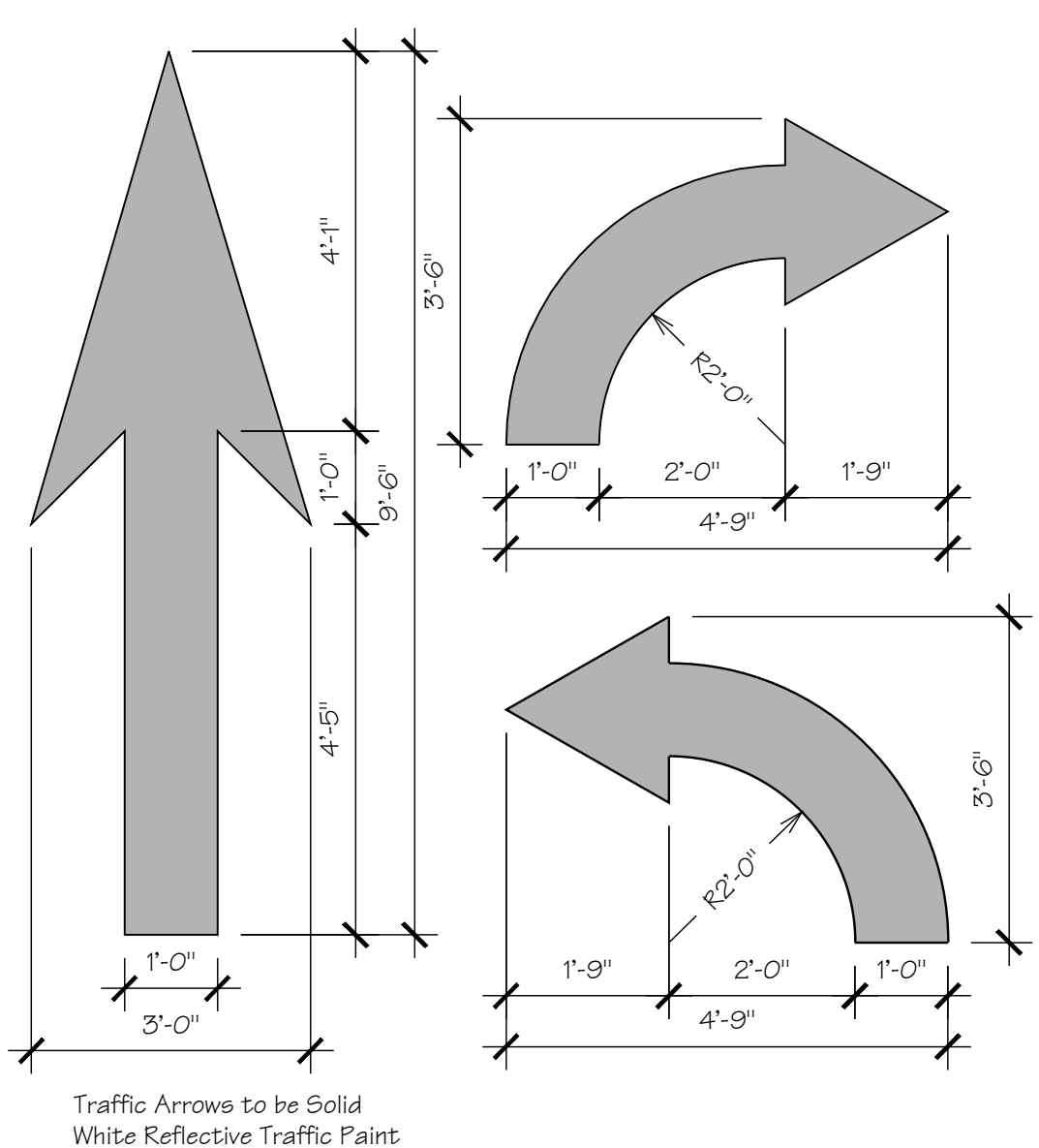
Accessible Parking Access Ramp & Access Aisle Detail

Scale: N.T.S.



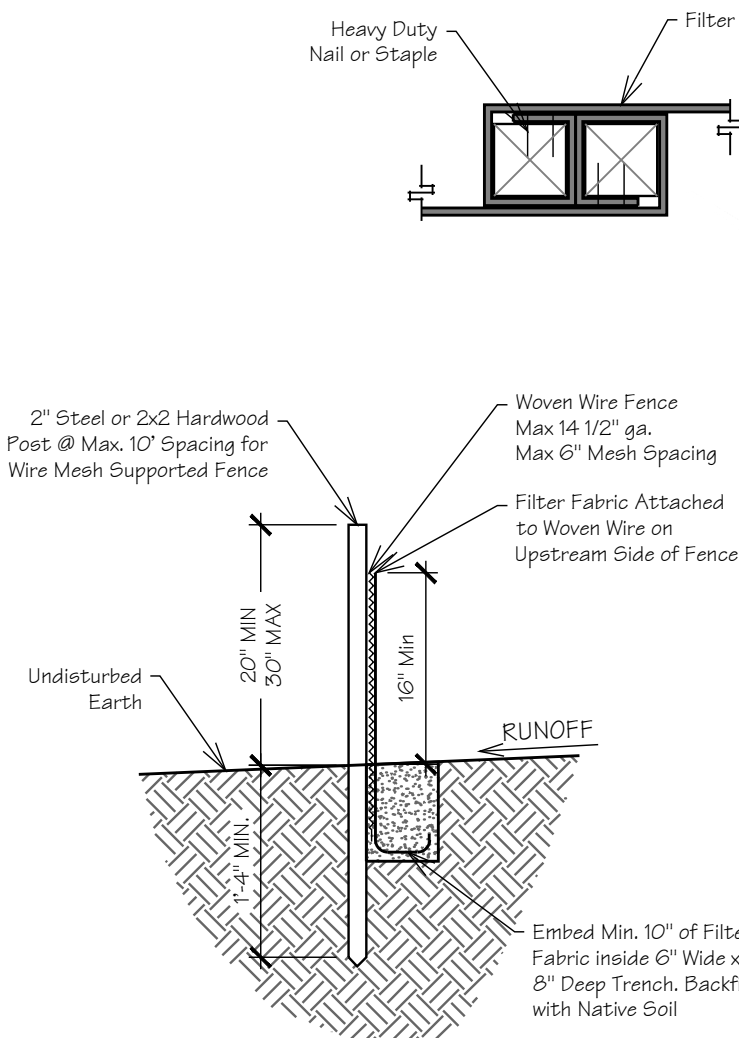
Handicap Sign Detail

Scale: 1/2" = 1'-0"



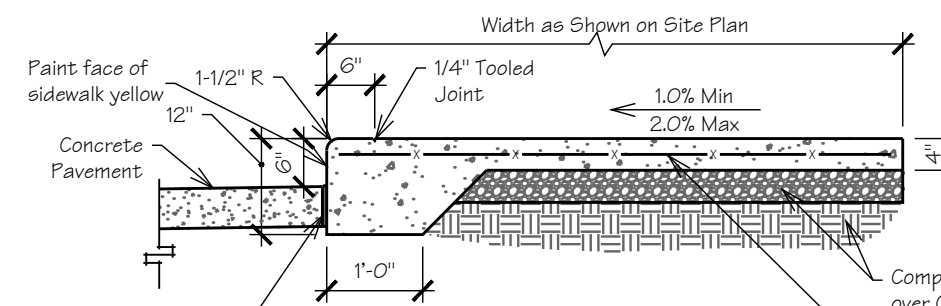
Traffic Flow Arrows

Scale: 1/2" = 1'-0"



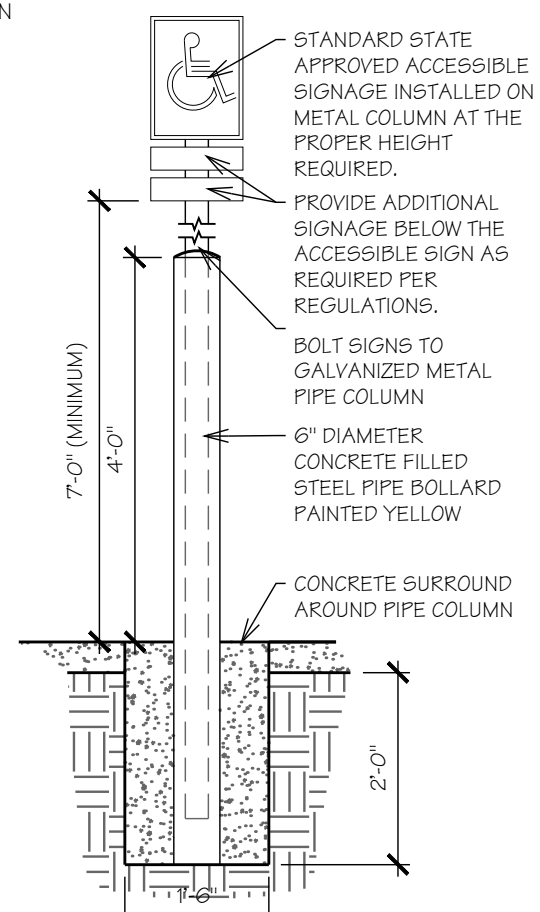
Standard 90° Parking Stall

Scale: 3/16" = 1'-0"



Widened Sidewalk Edge Detail

Scale: 1/2" = 1'-0"



Downspout Detail

Scale: 3/4" = 1'-0"



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Details

Development Plans For:

Dollar General of Austin
1311 W Main Street Austin, Arkansas 72007
PB General Holdings, LLC
5110 Talley Road
Little Rock, AR 72204
(501) 219-8899

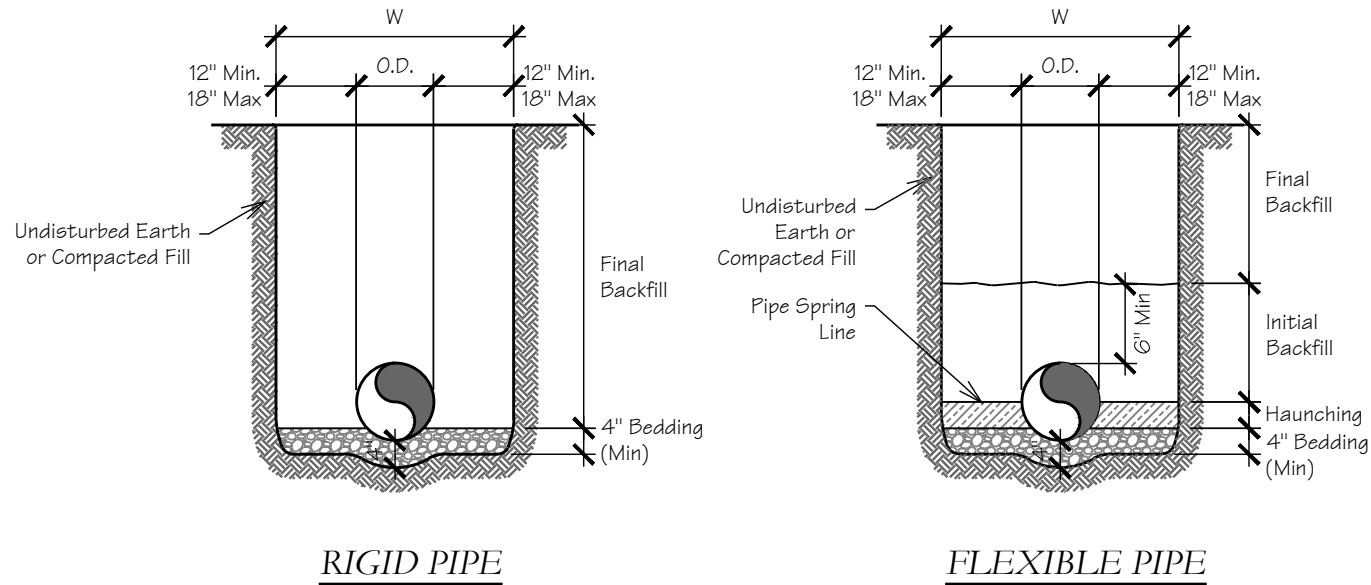
STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 11695
CODY SEXTON

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3825 N. Shiloh Drive Fayetteville, Arkansas 72703
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SHEET NUMBER:	C6		

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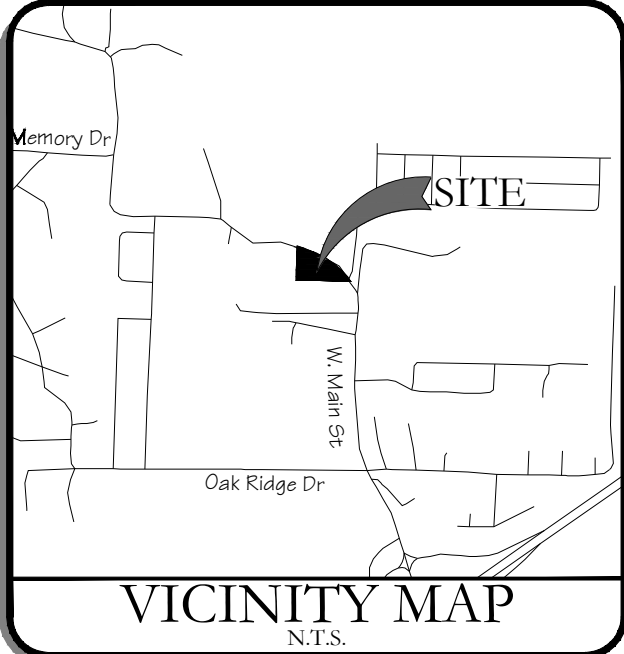
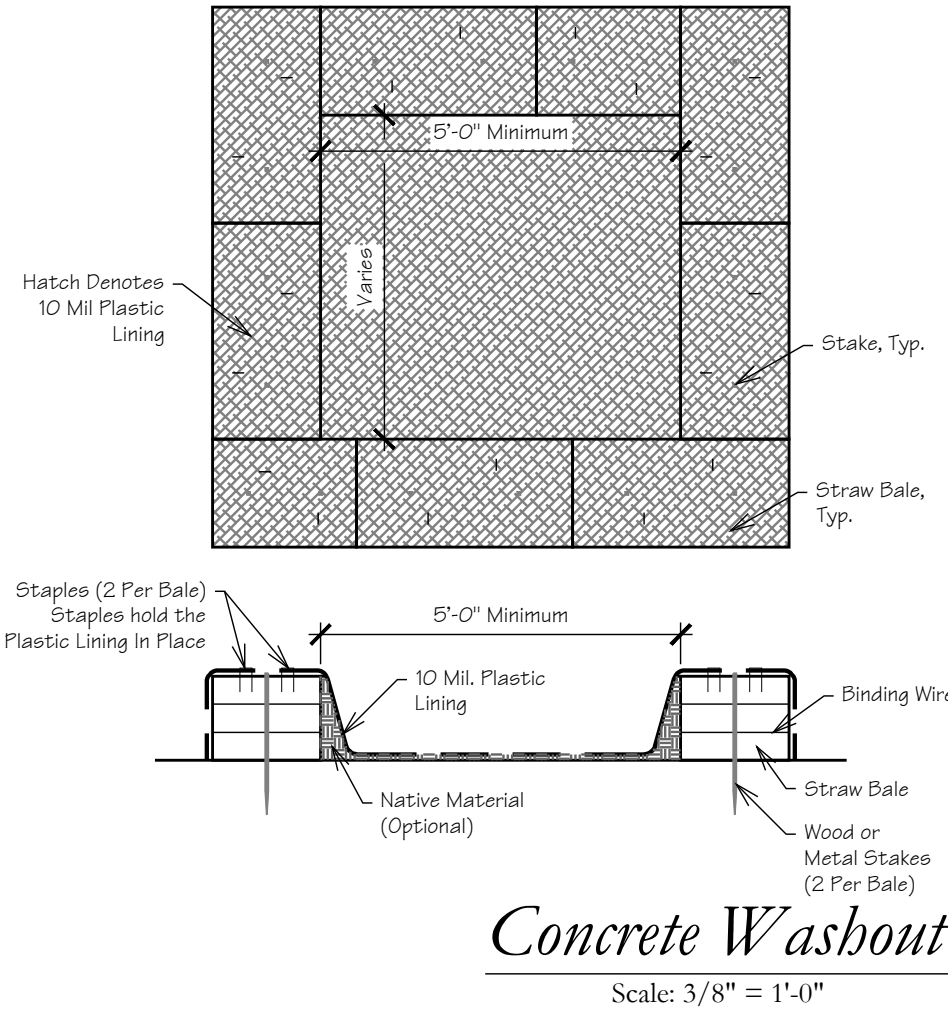


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STORM SEWER TRENCH AND BEDDING

NOT TO SCALE



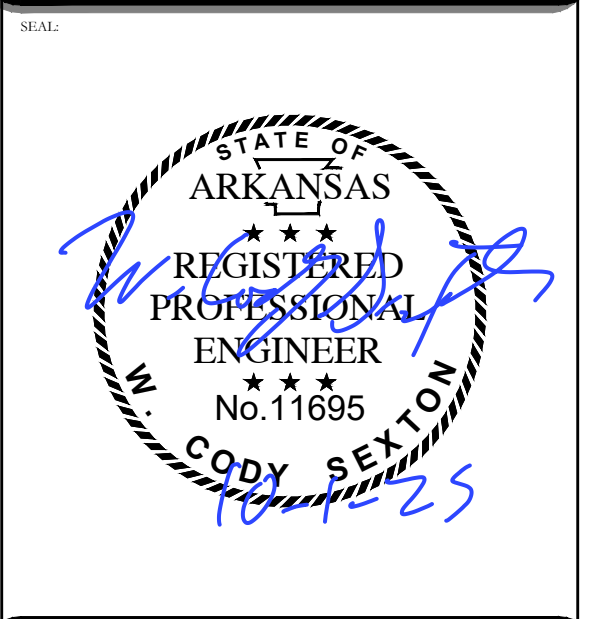
VICINITY MAP
N.T.S.

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Details

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Dollar General of Austin
1311 W Main Street Austin, Arkansas 7207
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Surveying | Engineering
Environmental

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Office: (479) 443-4506
www.BLEWINC.com

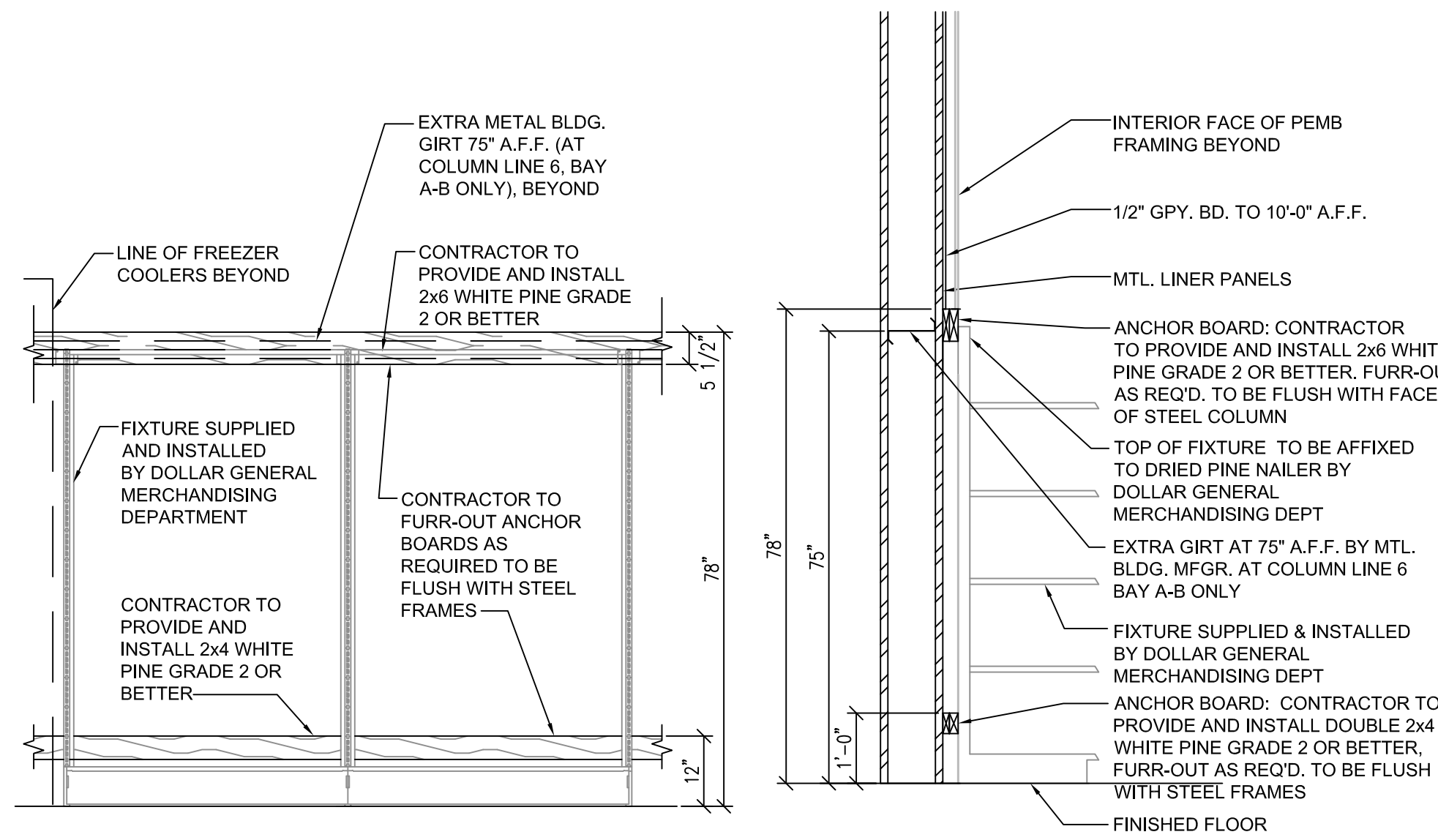
Certificate of Authorization #1534

DATE: 2025-09-10
JOB NUMBER: 25-1777

DRAWN BY: H. Smith
REVIEWED BY: W. Cody Sexton

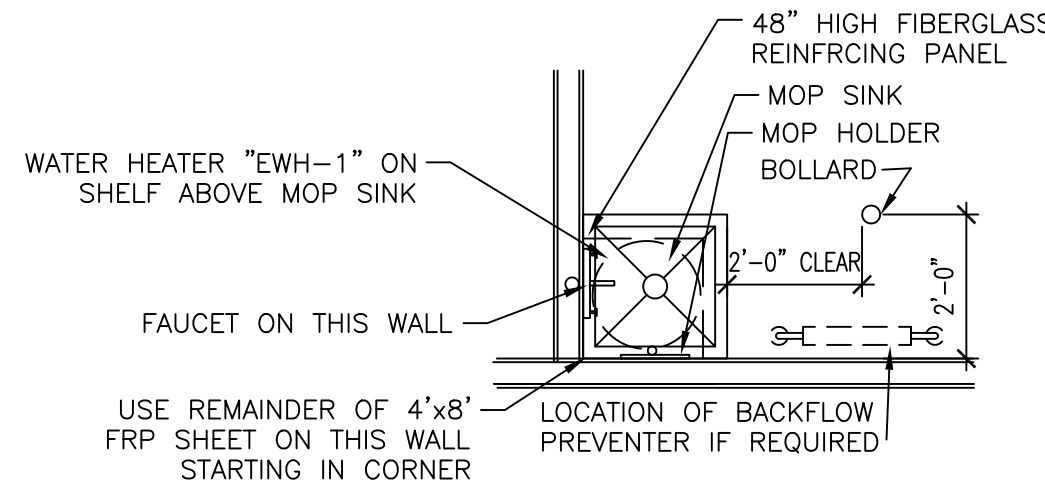
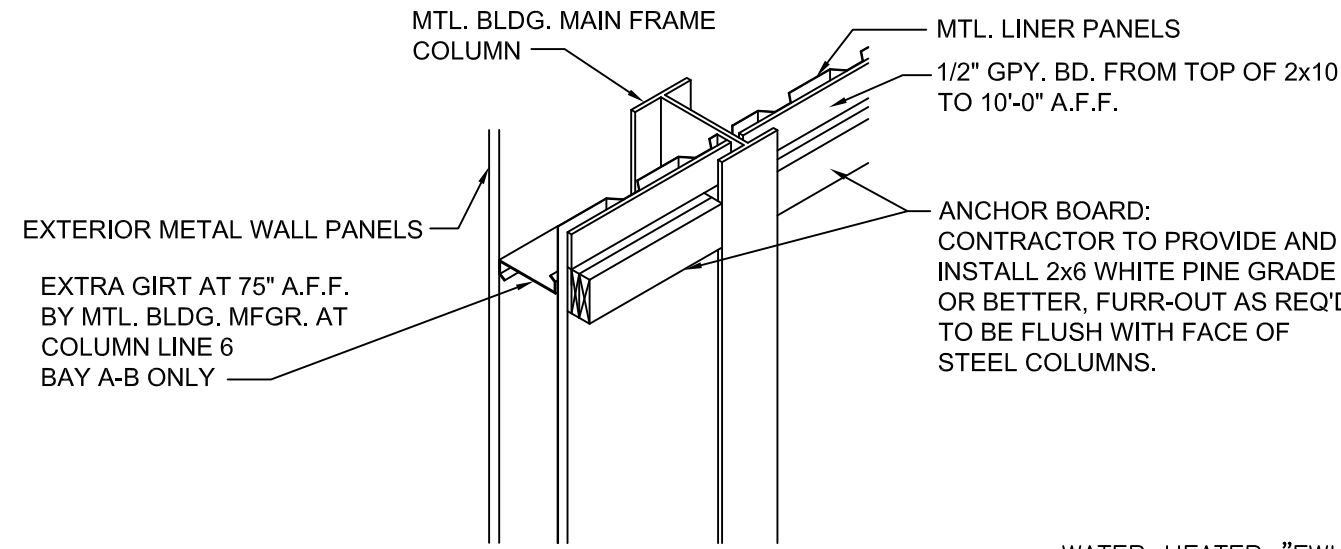
DRAWING NAME: 25-1777 Civil 001 - Details.dwg

SHEET NUMBER: C6-1



DRINK FIXTURE WALL MOUNTING SUPPORT NOTES:

1. PROVIDE AND INSTALL 2X6 WHITE PINE - GRADE 2 OR BETTER.
2. PROVIDE AND INSTALL 2X4 WHITE PINE - GRADE 2 OR BETTER.
3. FASTEN THE 2X6 TO WALL WITH THE TOP EDGE OF THE BOARD AT 78" A.F.F. AND ANCHORED TO METAL BLDG. GIRT @ 75" A.F.F. REFER TO FIXTURE PLAN FOR LENGTH AND LOCATION OF BOARD.
4. FASTEN THE 2X4 TO THE WALL WITH THE TOP EDGE OF THE BOARD AT 12" A.F.F. REFER TO FIXTURE PLAN FOR LENGTH AND LOCATION OF BOARD.
5. PRE-DRILL PILOT HOLES IN ALL BOARDS PRIOR TO INSTALLATION TO PREVENT WOOD SPLITS.
6. SECURE THE 2X6 WITH TWO SELF-TAPPING SCREWS PER WALL STUD. MINIMUM SCREW SIZE IS 4"x 1/4".
7. FASTEN THE 2X4 WITH ONE SELF-TAPPING SCREW PER WALL STUD. MINIMUM SCREW SIZE IS 4"x 1/4".
8. CAULK THE EDGES OF THE 2X6 AT THE TOP AND BOTTOM WHERE IT MEETS THE WALL PRIOR TO PAINTING.
9. PRIME AND PAINT BOTH BOARDS TO MATCH WALL COLOR.



NOTE:

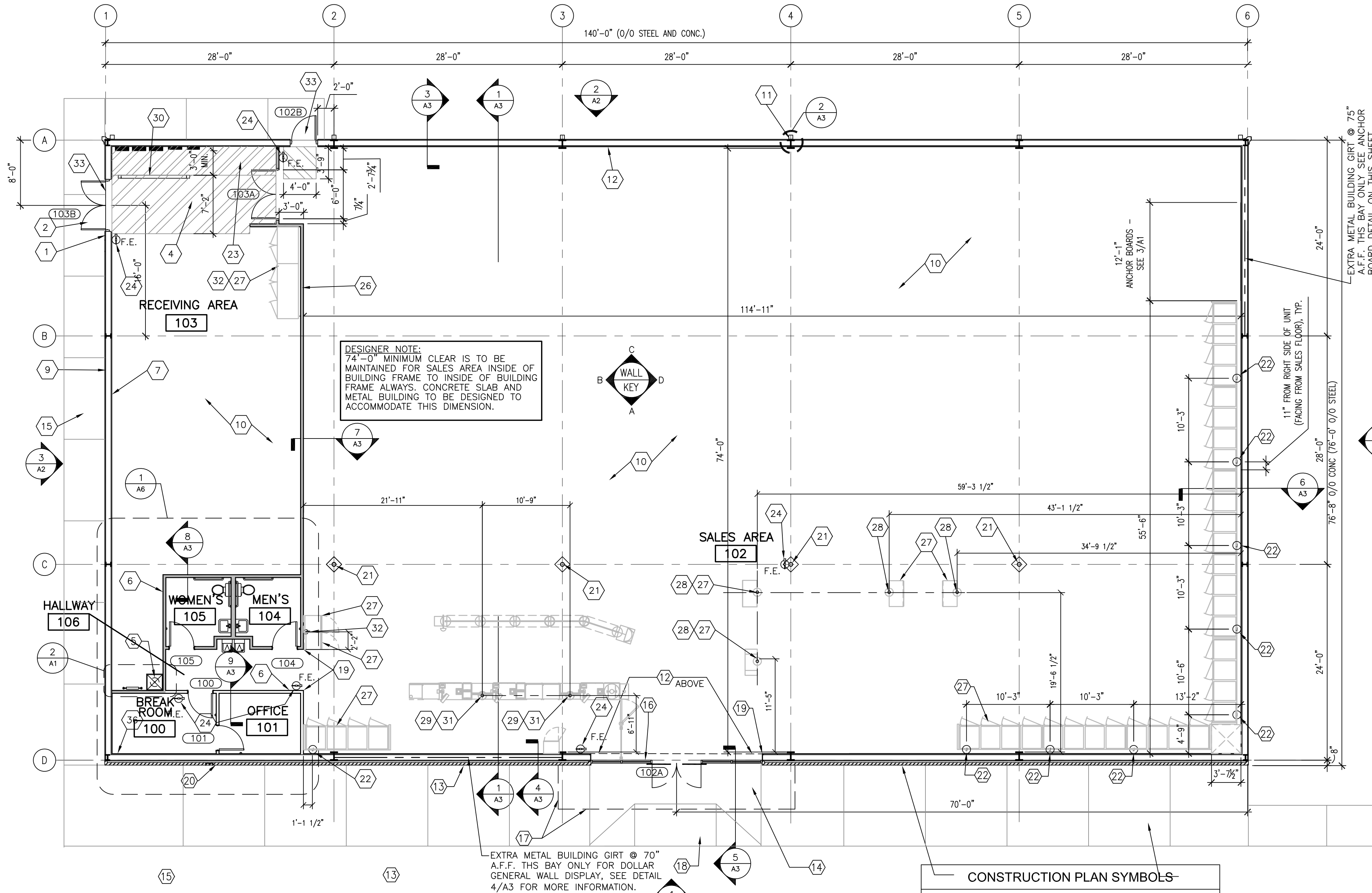
METAL BUILDING COLUMNS SHALL BE STRAIGHT.

NOTE:

THE ALLOWABLE CLEAR DISTANCE BEHIND THE SALES FLOOR FIXTURES IS 1-1/2" MAXIMUM TO THE FACE OF DRYWALL. IF IT IS LARGER THAN THIS, PROVIDE HORIZONTAL WOOD FURRING STRIPS, PAINTED WALL COLOR, MOUNTED ON THE DRYWALL AT 78" AFF TO THE TOP OF THE STRIP TO REDUCE THE GAP TO LESS THAN 1-1/2".

3 ANCHOR BD DETAILS
1/2" = 1'-0"

2 ENLARGED PLAN AT MOP SINK
3/8" = 1'-0"



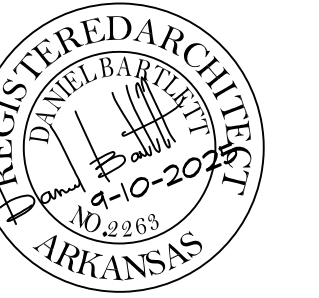
FLOOR PLAN KEYED NOTES

- 1 RECEIVING DOOR BUZZER
- 2 2" DOOR SCOPE.
- 3 STRIPE FLOOR FOR DESIGNATED ADA EGRESS PATH (PAINT YELLOW)
- 4 STRIPE FLOOR FOR DESIGNATED CLEAR EGRESS PATH (PAINT YELLOW)
- 5 PROVIDE AND INSTALL A TEN GALLON WATER HEATER ABOVE THE MOP SINK. SEE PLUMBING PLANS FOR MORE INFORMATION
- 6 3 5/8", 20 GA. METAL STUDS @ 16" O.C. WITH 1/2" GYP. BOARD BOTH SIDES. SEE WALL SECTION SHEET A3. REFER TO ROOM FINISH SCHEDULE FOR GYPSUM BOARD HEIGHT AT ANY PARTICULAR WALL.
- 7 VERTICAL METAL LINER PANELS TO 8'-0" A.F.F. IN RECEIVING AREA (BY PRE-ENGINEERED BUILDING MANUFACTURER)
- 8 DIMENSIONS TO BE COLUMN LINE UNLESS OTHERWISE NOTED.
- 9 METAL BUILDING PANELS (BY PRE-ENGINEERED BUILDING MANUFACTURER), "PBR" OR "A" STYLE PANELS ONLY. PROVIDE TAMPER-RESISTANT FASTENERS FOR BOTTOM 8'-0".
- 10 CONCRETE SLAB, SEE SHEET S1 FOR MORE INFORMATION.
- 11 METAL BUILDING FRAME. REFER TO DETAIL 3/A3 FOR ADDITIONAL INFORMATION.
- 12 FULL HEIGHT METAL LINER PANELS (28/29 GAUGE) WITH 1/2" GYPSUM BOARD. SEE INTERIOR ELEVATIONS ON SHEET A4. PROVIDE R-19 METAL BUILDING INSULATION.
- 13 4" SPLIT FACED CMU PAINTED SW #7037 BALANCED BEIGE. ALIGN FACE OF BLOCK WITH STEEL GIRT. PROVIDE PROPER ANCHORAGE TO STRUCTURE. (TOP AND BOTTOM COURSE TO BE SMOOTH-FACED)
- 14 SLOPE CONCRETE 1/8" PER FOOT AWAY FROM BUILDING.
- 15 BROOM FINISH CONCRETE SIDEWALK, TYP. REFER TO CIVIL.
- 16 BRONZE STOREFRONT SYSTEM. REFER TO SHEETS A4 AND A5 FOR ADDITIONAL INFORMATION. CONTINUE METAL LINER PANELS TO DECK.
- 17 LINE OF SOFFIT OR CANOPY ABOVE.
- 18 A.D.A. COMPLIANT H.C. RAMP WITH PAINTED SIDES TO ACCESSIBLE PARKING STALLS, REFER TO CIVIL.
- 19 MC CUE CART AND BUMPER GUARDS 3'-5" A.F.F., ORDER TRIMKIT FOR THIS PROTOTYPE.
- 20 WALL HYDRANT. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 21 ROUND STEEL PIPE COLUMN WITH RECESSED BASE PLATE-PAINT SECOND CONCRETE POUR SW6991 BLACK MAGIC. PAINT STEEL COLUMN SW7005 PURE WHITE. WRAP COLUMN WITH TIGHT LOOP CARPET (BLACK) 48" HIGH AT BASE.
- 22 J-BOXES FOR COOLERS AND FREEZERS, SEE ELECTRICAL FOR DETAILS
- 23 STRIPE FLOOR FOR 3'-0" DESIGNATED EMS PANEL CLEARANCE (PAINT RED)
- 24 FIRE EXTINGUISHERS, VERIFY LOCATIONS WITH LOCAL FIRE MARSHAL.
- 25 RPZ ASSEMBLY, SEE PLUMBING PLANS FOR MORE INFORMATION
- 26 MAINTAIN 2" AIR GAP BETWEEN THE WALK IN COOLER / FREEZER AND THE WALL FOR VENTILATION.
- 27 REFRIGERATION BY DOLLAR GENERAL.
- 28 FREESTANDING COOLER/FREEZERS (INCLUDING PRODUCE COOLER AND DISPLAY LIGHTING) TO BE HARDWIRED THROUGH SO CORD. GENERAL CONTRACTOR TO LEAVE BOTTOM OF CORD HANGING AT 80" A.F.F. (SEE ELECTRICAL). SO CORD ANCHORED TO PURLINS ABOVE. COORDINATE LOCATION WITH FINAL DOLLAR GENERAL FIXTURE PLAN.
- 29 POWER POLE. COORDINATE FINAL LOCATION WITH ELECTRICAL DRAWINGS AND FINAL DOLLAR GENERAL FIXTURE PLAN (F1).
- 30 MC CUE RAILING IN FRONT OF ELECTRICAL PANEL. 8'-0" LONG WITH TWP TOP RAILINGS AND NO MIDDLE POST.
- 31 NON-REFRIGERATION EQUIPMENT (REGISTERS, HIGH KIOSK, ATM, KEYME) BY DOLLAR GENERAL.
- 32 REFRIGERATION AND NON-REFRIGERATION EQUIPMENT ON WALLS TO BE POWERED THROUGH OUTLETS- SEE ELECTRICAL. COORDINATE LOCATION WITH FINAL DOLLAR GENERAL FIXTURE PLAN.
- 33 MASTIC SEAL UNDER ALL EXTERIOR DOORS.
- 34 (NOT USED)
- 35 (NOT USED)
- 36 3 5/8", 20 GA., METAL STUDS @ 16" O.C. WITH 1/2" GYP. BD. TO 10'-0" A.F.F., W/ R-13 FACED INSULATION AT FRONT WALL, ALIGN FACE OF STUD TO FACE OF METAL LINER PANEL ABOVE.

CONSTRUCTION PLAN SYMBOLS

DOOR INSTALLATION, SEE DOOR SCHEDULE ON SHEET A4 FOR MORE INFORMATION.

1 FLOOR PLAN
1/8" = 1'-0"

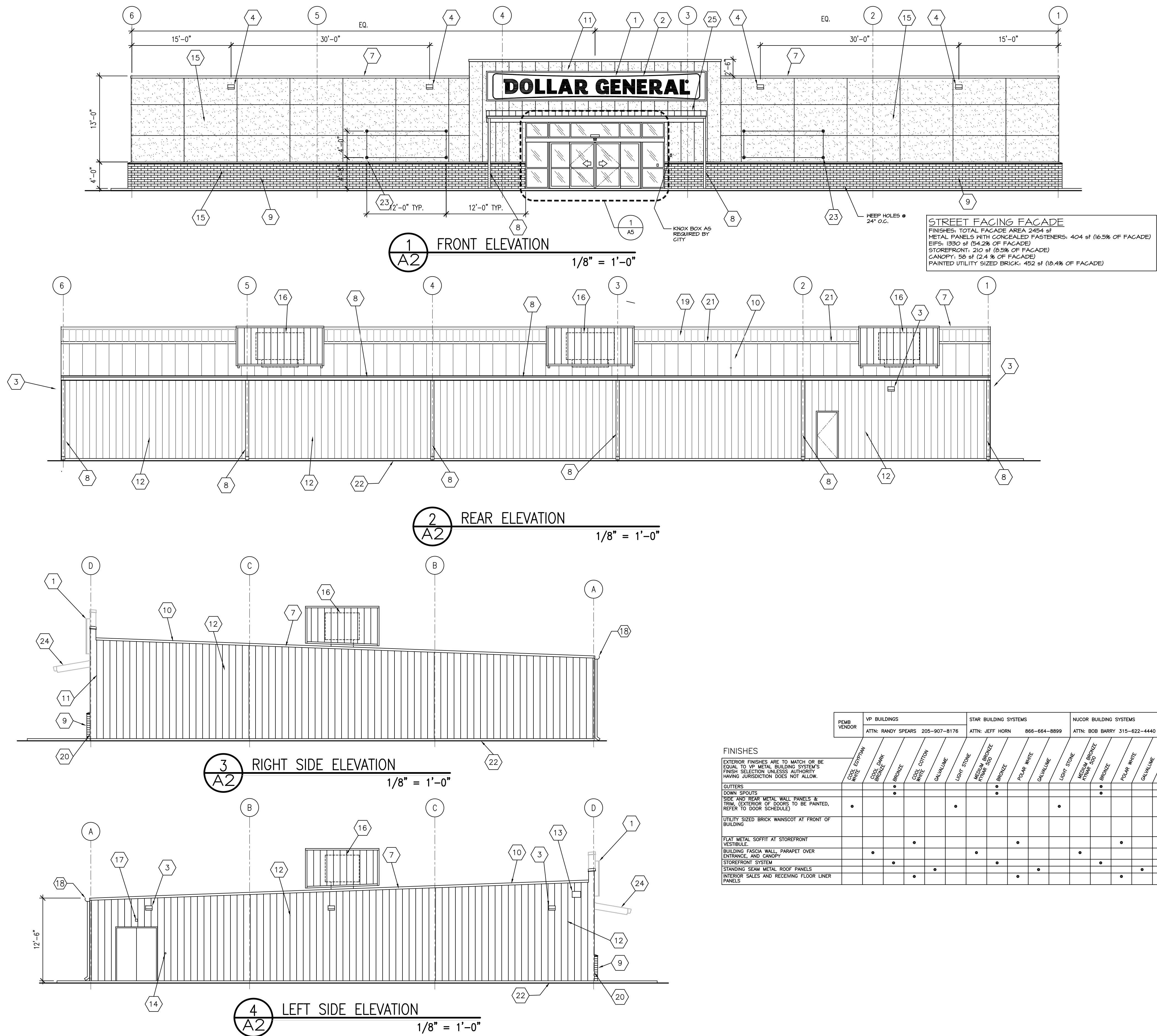


BARTLETT ARCHITECTURE, Inc.
DESIGNER
PLANNER
ARCHITECT
603 HWY #5 NORTH
BENTON, ARKANSAS 72019
A.I.A., NCARB 501-794-4448

DOLLAR GENERAL (PLAN "C-DGP")
PROTOTYPE PLAN "C-DGP"(10,640 sf) (Dated:12/14/2023)
WEST MAIN STREET
AUSTIN, ARKANSAS
(STORE #31689)

FLOOR PLAN
PROJECT #
2511
SEPT. 10, 2025

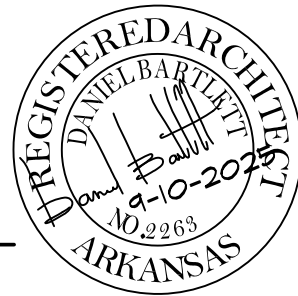
A1
SHEET 1 of 9



ELEVATION KEYED NOTES

- SIGN FURNISHED AND INSTALLED BY DOLLAR GENERAL CORP. WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. EXTERIOR CANOPY SIGN SHALL BE SUPPORTED BY THE FACE OF CANOPY. CONTRACTOR IS TO PROVIDE ADEQUATE STRUCTURE TO SUPPORT SIGN. COORDINATE THE PROPER SIGNAGE TO BE USED WITH DOLLAR GENERAL.
- EXTRA GIRTS BEHIND SIGN BY METAL BLDG. MFR. G.C. TO ENSURE PROPER SIGNAGE SUPPORT IS PROVIDED.
- LED WALL PACK (BOTTOM OF LIGHT FIXTURE ON WALL AT 11'-6" A.F.F.) REFER TO LIGHTING PLAN SHEET E2 FOR MORE INFORMATION. SEE SHEET A3 FOR BLOCKING INFORMATION FOR MOUNTING LIGHT.
- LED WALL PACK (BOTTOM OF FIXTURE ON WALL AT 15'-6" A.F.F.) REFER TO LIGHTING PLAN SHEET E2 FOR MORE INFORMATION. SEE SHEET A3 FOR BLOCKING INFORMATION FOR MOUNTING LIGHT.
- (NOT USED)
- (NOT USED)
- TRIM - SEE SHEET S1 FOR COLOR.
- GUTTER AND DOWNSPOUT - SEE SHEET FINISH SCHDEULE ON THIS SHEET FOR COLOR.
- 4" SMOOTH FACED UTILITY SIZED BRICK W/ 12 GA. RIGID WALL TIES (TIES @ EACH GIRT @ 24" O.C. HORIZ. AND BETWEEN GIRTS @ 16" O.C. VERT. AND 36" HORIZ.), PAINTED SW #7032--"WARM STONE"
- STANDING SEAM METAL ROOF. GALVALUME FINISH.
- PRE-FINISHED METAL PANELS "FLUSH PROFILE" PANEL WITH CONCEALED FASTENERS (COLOR: DARK BRONZE)
- PRE-FINISHED METAL WALL PANELS, "PBR" OR "A" STYLE PANELS ONLY. PROVIDE TAMPER RESISTANT FASTENERS FOR BOTTOM 8'-0". (COLOR: LIGHTSTONE)
- VENT FOR BATHROOM EXHAUST. REFER TO MECHANICAL DRAWING M1 FOR ADDITIONAL INFORMATION.
- DOOR BUZZER. REFER TO ELECTRICAL DRAWING E1 FOR ADDITIONAL INFORMATION.
- 1 1/2" EIFS (COLOR TO MATCH SW #6016 "KILIM BEIGE")
- HVAC UNITS MOUNTED ON ROOF. REFER TO MECHANICAL SHEET M1 FOR MORE INFORMATION.
- OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOOR AT 9'-0" A.F.F.
- MINIMUM EAVE HEIGHT IS 14'-0" A.F.F.
- PARAPET BEYOND.
- FLASHING AT CMU/MTL. PANEL
- WALL/ROOF FLASHING
- FINISH GRADE TO BE A MINIMUM OF 6" BELOW FINISHED FLOOR LEVEL AT ALL NONPAVED AREAS.
- 1/2" DIAMETER x 6" LONG STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY. TOTAL OF 8 BOLTS.
- METAL CANOPY BY MTL. BLDG. MFR.

FINISHES	PEMB VENDOR		VP BUILDINGS		STAR BUILDING SYSTEMS		NUCOR BUILDING SYSTEMS		BIG BEE STEEL BUILDINGS		CHIEF BUILDINGS		PREFERRED COLORS IF ALTERNATE EXTERIOR MATERIALS ARE USED INSTEAD OF METAL PANELS	
	ATTN: RANDY SPEARS	205-907-8176	ATTN: RANDY SPEARS	205-907-8176	ATTN: JEFF HORN	866-664-8899	ATTN: BOB BARRY	315-622-4440	ATTN: KEVIN BUSLER	800-633-3378	ATTN: ERIN SULLIVAN	800-845-1767	ATTN: ERIN SULLIVAN	800-845-1767
EXTERIOR FINISHES ARE TO MATCH OR BE EQUAL TO VP METAL BUILDING SYSTEM'S FINISH SELECTION UNLESS AUTHORITY HAVING JURISDICTION DOES NOT ALLOW.														
GUTTERS														
DOWN SPOUTS														
SIDE AND REAR METAL WALL PANELS & TRIM (EXTERIOR OF DOORS TO BE PAINTED, REFER TO DOOR SCHEDULE)														
UTILITY SIZED BRICK WAINSCOT AT FRONT OF BUILDING														
FLAT METAL SOFFIT AT STOREFRONT VESTIBULE														
BUILDING FASCIA WALL, PARAPET OVER ENTRANCE, AND CANOPY														
STOREFRONT SYSTEM														
STANDING SEAM METAL ROOF PANELS														
INTERIOR SALES AND RECEIVING FLOOR LINER PANELS														






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DANIEL BARTLETT A.I.A., NCARB 501-794-4448

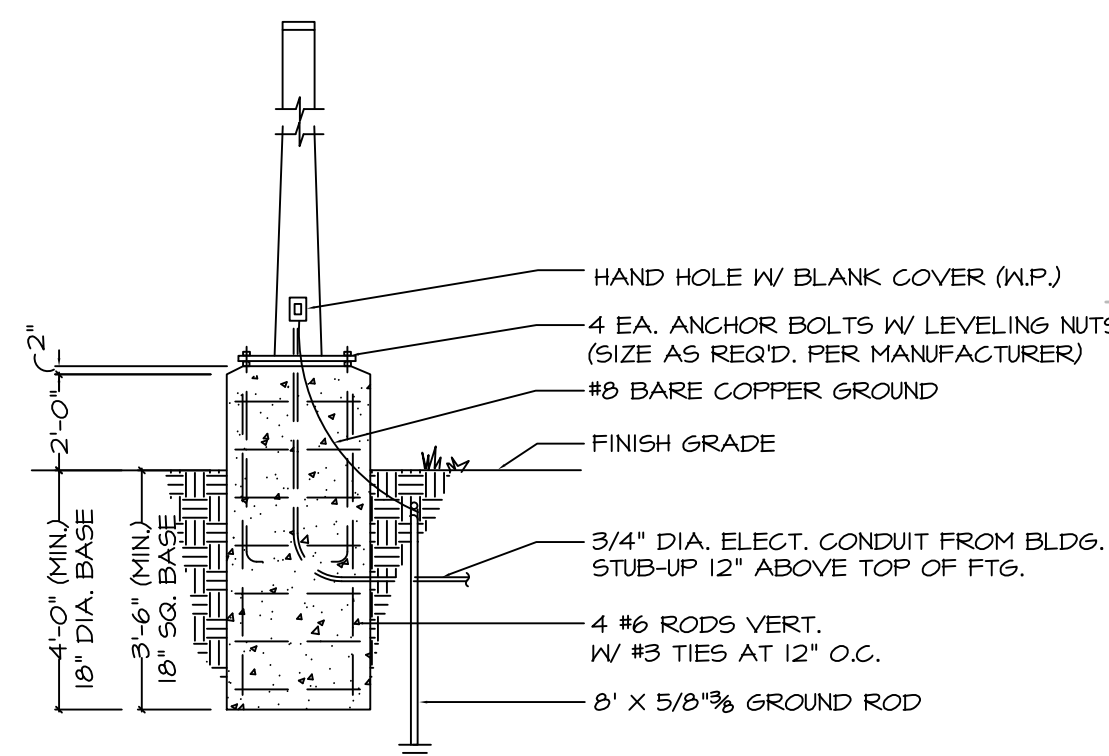
DOLLAR GENERAL (PLAN "C-DGP")
PROTOTYPE PLAN "C-DGP"(10640 sf) (Dated:12/4/2023)
WEST MAIN STREET
AUSTIN, ARKANSAS
(STORE #31689)

ELEVATIONS
PROJECT #
2511
SEPT. 10, 2025
A2
SHEET 2 of 10

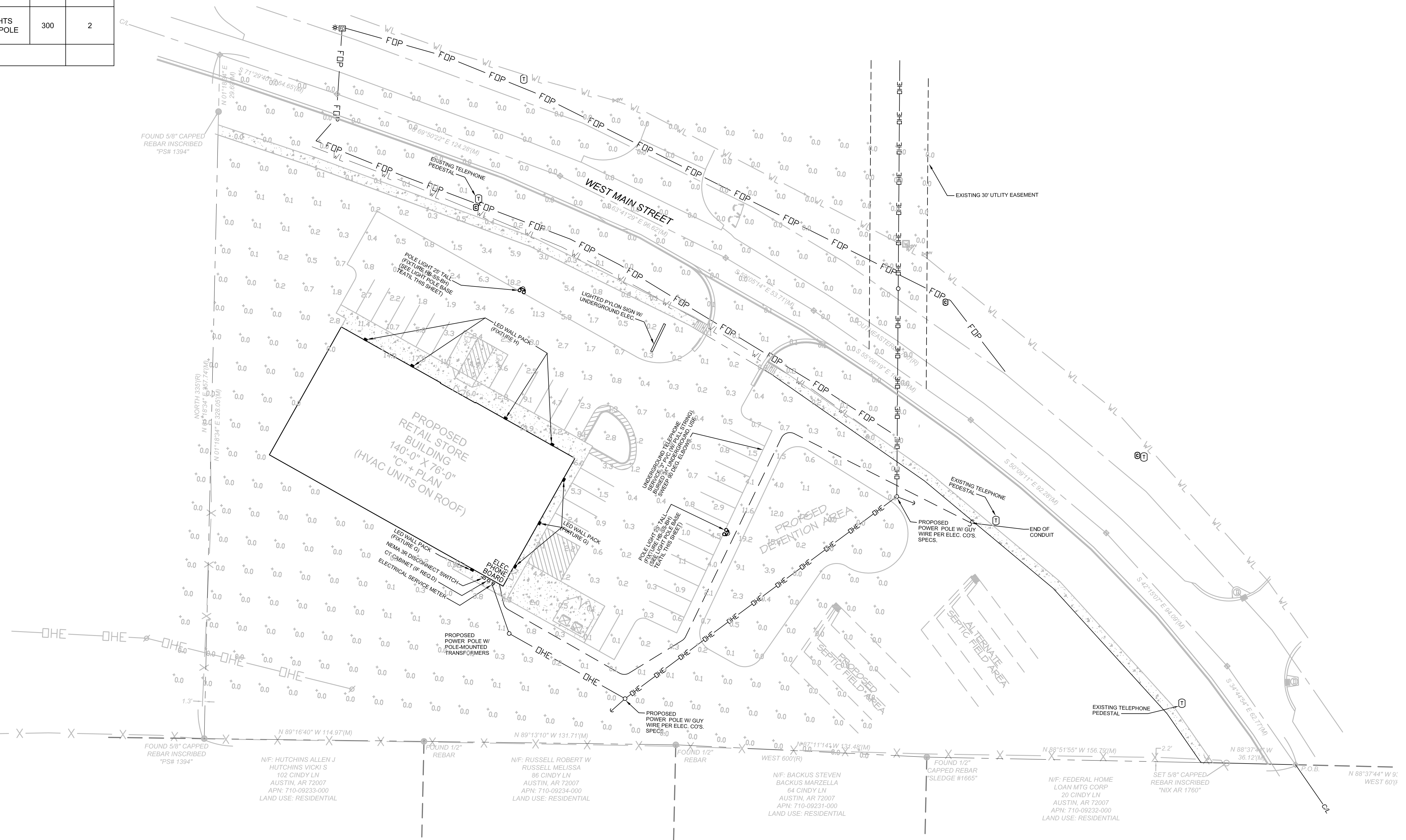
1. COORDINATE ELECTRICAL SERVICE FIRST ELECTRIC COOPERATIVE REPRESENTATIVE:
RANDY JONES (501) 413-1240 (JACKSONVILLE OFFICE)
2. COORDINATE TELEPHONE SERVICE WITH BRIGHTSPEED TELEPHONE REPRESENTATIVE:
JOSH STONE (501) 472-6149 (JACKSONVILLE OFFICE/CELL PHONE)

LEDS LLC LIGHT FIXTURE SCHEDULE						
SYMBOL	TYPE	MANF.	PART #	DESCRIPTION	W	COUNT
	G	SHENZHEN SNC OPTO ELEC. CO.	SNC-FWP01-40CT4A1-40	LED FULL CUOFF WALL PACK	40	4
	H	ASMAST LIGHT CO. LTD.	PRO-SG11-150WCT3A1	LED AREA FLOOD LIGHT	150	4
	HB-SS-BH	JUST LED	TWO-PRO-SG11-150WCT3A1WITH SIDE SHIELDS	2 LED AREA LIGHTS MOUNTED ON 20' POLE	300	2
			POLE: DM490			
NOTE: REFER TO SHEET 'T1' FOR NATIONAL ACCOUNT VENDORS LIST						

- A. FINAL SIGN CONNECTION AND UNDERGROUND CONDUIT IS LANDSCAPE RESPONSIBILITY. PROVIDE CONDUIT FROM THE ELECTRICAL PANEL TO LOCATION OF THE PYLON SIGN BASE. BURY CONDUIT UNDER PARKING AREA. THE CONDUIT IS TO BE 1" AND HAVE ONE SET TO 10/2 WIRE WITH GROUND AND A 20-AMP TWO POLE BREAKER AT THE PANEL. A TEMPORARY 3" TALL STAKE SHALL BE PROVIDED TO DESIGNATE THE PYLON SIGN LOCATION UNTIL THE SIGN IS PERMANENTLY INSTALLED. REMOVE POST AFTER SIGN IS INSTALLED.
- B. SITE / PARKING LOT LIGHTING: PROVIDE ADEQUATE POLE AND/OR FLOOR LIGHTING FOR SIGN VISION AROUND ENTRY, PARKING AND DUMPSTER PAD AREAS.
- C. MINIMUM OF 1.5 FOOT-CANDLES REQUIRED FOR ALL PAVED AREAS EXCLUDING 15' PERIMETER FROM EDGE OF PAVEMENT.
- D. REQUIRED LIGHTING: A COMBINATION OF POLE LIGHTS, FLOOR LIGHTS WITH ARM AND WALL PACKS WILL BE USED. REFER TO ELECTRICAL SITE PLAN AND SHEET E2 FOR ADDITIONAL INFORMATION.
- E. PLEASE NOTE THAT LIGHTING DESIGN AND LAYOUT SHOULD BE SPECIFIC & MAY REQUIRE ADDITIONAL LIGHTING TO COMPLY WITH SITE DESIGN CONDITIONS. THEREFORE, MAKE PROVISIONS FOR MORE POLE LIGHTING WHEN A SPECIFIC SITE REQUIRES IT.
- F. UNDERGROUND ELECTRICAL SHALL BE PROVIDED TO THE SITE LIGHT POLES.
- G. WHERE LOCAL JURISDICTIONS DO NOT ALLOW DOLLAR GENERAL'S REQUIRED LIGHTING PLAN, AN ALTERNATE SITE LIGHTING PLAN & PHOTOMETRIC PLAN MUST BE SUBMITTED FOR APPROVAL TO THE DOLLAR GENERAL ARCHITECTURAL AND ENGINEERING DEPARTMENT.
- H. PHOTOMETRIC SITE ANALYSIS AVAILABLE THROUGH DOLLAR GENERAL VENDOR, LEDS LLC.
- I. DOLLAR GENERAL VENDOR PRICING FOR WALL PACKS OR POLE LIGHTING AVAILABLE FROM LEDS LLC.
- J. SEE SHEET E2 FOR MORE INFORMATION.
- K. VERIFY LOCAL DARK SKY REQUIREMENTS AND CONTACT VENDORS FOR APPROVED ALTERNATES IF REQUIRED.



2 LIGHT POLE BASE DETAIL
SCALE: NOT TO SCALE



ELECTRICAL SITE PLAN
SCALE: 1"=20'-0"



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 WEST MAIN STREET
 AUSTIN, ARKANSAS (STORE

ES1

SHEET 7 of 7

ELEC. SITE PLAN
PROJECT #
2511
SEPT. 10, 2025