

VICINITY MAP
N.T.S.

General Notes:

- ✗ A minimum of forty eight (48) hours prior to any excavation or grading, Contractor shall contact the State One-Call system at 811 to locate all underground utilities. The Contractor shall notify the Engineer of Record immediately in the event that underground utilities are not shown on plan and / or conflict with proposed civil works.
- ✗ The Engineer of record shall not be held responsible for survey inaccuracies, survey omissions, or for design errors or omissions resulting from an inaccurate survey.
- ✗ Construction Contractor and his Subcontractors agree that in accordance with generally accepted construction practices and OSHA safety standards, Construction Contractor and his Subcontractors will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not limited to normal working hours, and construction Contractor and his Subcontractors further agree to defend, indemnify and hold Design Professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, except liability arising from the sole negligence of design professional.
- ✗ It is the responsibility of the Contractor to maintain all erosion and sediment control devices through all phases of construction. Erosion and sediment control devices may only be removed upon 70% stabilization of the site as defined by the State's Department of Environmental Quality's General Permit for Construction.
- ✗ The Contractor is to be solely responsible for any damage to neighboring properties during construction of this project.
- ✗ This project was designed in accordance with currently accepted industry design standards. The Engineer of Record does not warrant any work completed on site unless direct inspection by the Engineer of Record & proper testing by a state certified qualified inspection lab occurs during all phases of construction.
- ✗ The Contractor shall review the construction documents prior to any construction, and notify the Engineer of Record immediately upon discovery of any discrepancies that may occur on the drawings. All work shall discontinue until such time that the Engineer of Record has resolved said discrepancy.
- ✗ The Contractor shall be responsible for disposal of construction waste materials including but not limited to demolition materials, debris, contaminated soils / materials, etc. in a lawful manner, at state and federally accepted disposal sites.
- ✗ The Contractor is responsible for obtaining and constructing in accordance with the stricter of: these construction documents and any associated details & specifications; and all municipalities / governing agencies' standards and specifications for construction.
- ✗ This drawing set and associated site, grading, utility, etc. plans are representations of the construction design and shall not be scaled to determine dimensions.

Contact Information:

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FIRE:
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Austin, Arkansas 72207
Ph: 501-941-2648

WATER:
Austin Public Works
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Austin, AR 72207
Ph: 501-941-2648

GAS:
Summit Utilities
401 Capitol Ave
Little Rock, AR 72201
Ph: 800-992-7552

ARKANSAS DEPARTMENT OF
TRANSPORTATION:
District 6
Permit Officer
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Survey Description

THE LAND IS DESCRIBED AS FOLLOWS:

LOT 1, BLOCK 1, AUCKLAND COMMERCIAL SUBDIVISION, BELLA VISTA VILLAGE, BENTON COUNTY, ARKANSAS, AS SHOWN IN PLAT BOOK 205 AT PAGE 632, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: A PART OF THE FRACTIONAL NW 1/4 OF SECTION 16, TOWNSHIP 21 NORTH, RANGE 30 WEST OF THE FIFTH PRINCIPAL MERIDIAN, BENTON COUNTY, ARKANSAS, AND BEING DESCRIBED AS FOLLOWS: COMMENCING AT A 2 1/2 INCHES BY 34 INCHES ARKANSAS ALUMINUM CAP STAMPED AS THE CLOSING CORNER OF SECTION 16; AND SECTION 17, TOWNSHIP 21 NORTH, RANGE 30 WEST, BEING THE CLOSING CORNER ON THE BOUNDARY LINE OF THE STATE OF ARKANSAS AND STATE OF MISSOURI FOR THE NW CORNER OF THE FRACTIONAL NW 1/4 OF SECTION 16, TOWNSHIP 21 NORTH, RANGE 30 WEST.

WE TURNED ALONG THE BOUNDARY LINE OF THE STATE OF ARKANSAS AND MISSOURI, SOUTH 88°39'27" EAST 300.12 FEET TO A SET IRON PIN FOR THE TRUE POINT OF BEGINNING, THENCE CONTINUING ALONG THE BOUNDARY LINE OF THE STATE OF ARKANSAS, SOUTH 88°39'27" EAST 530.00 FEET TO AN IRON PIN SET AT THE INTERSECTION OF THE ARKANSAS STATE LINE AND THE WESTERLY RIGHT-OF-WAY LINE OF ARKANSAS STATE HIGHWAY 94; THENCE LEAVING THE STATE LINE OF ARKANSAS AND ALONG THE WESTERLY RIGHT-OF-WAY LINE OF ARKANSAS STATE HIGHWAY 94 AND ALSO ALONG A CURVE TO THE LEFT WITH A DELTA ANGLE OF 23°18'54", HAVING A RADIUS OF 758.19 FEET AND AN ARC LENGTH OF 307.71 FEET, WITH A CHORD BEARING AND DISTANCE OF SOUTH 21°23'43" EAST 305.59 FEET TO AN IRON PIN AT THE INTERSECTION OF THE WESTERLY RIGHT-OF-WAY LINE OF ARKANSAS STATE HIGHWAY 94 AND THE NORTHERLY RIGHT-OF-WAY LINE OF ARKANSAS STATE HIGHWAY 340; THENCE ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF ARKANSAS STATE HIGHWAY 340, HAVING A CURVE TO THE RIGHT WITH A DELTA ANGLE OF 33°59'50", HAVING A RADIUS OF 512.06 FEET AND AN ARC LENGTH OF 303.86 FEET, WITH A CHORD BEARING AND DISTANCE OF SOUTH 73°44'28" WEST 399.42 FEET TO A SET IRON PIN. THENCE LEAVING THE NORTHERLY RIGHT-OF-WAY LINE OF ARKANSAS STATE HIGHWAY 340, NORTH 07°56'28" WEST 237.61 FEET TO A SET IRON PIN; THENCE NORTH 69°58'25" WEST 343.48 FEET TO A SET IRON PIN; THENCE NORTH 01°20'34" EAST 27.85 FEET TO THE TRUE POINT OF BEGINNING.

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1	Survey (by Blew & Associates, P.A.)	08/15/2025

Cover Sheet

Development Plans For:

Dollar General of Austin
1311 W Main Street, Austin, Arkansas 72007

PB General Holdings, LLC
5100 Talley Road
Little Rock, Arkansas 72204

(501) 219-8899

SEAL



Typical Abbreviation List:

Abbrev.	Description	Abbrev.	Description
RCP	Reinforced Concrete Pipe	TC	Top of Back of Curb (Spot Elevation)
CMP	Corrugated Metal Pipe	G	Gutter / Bottom of Sidewalk (Spot Elevation)
HDP	High Density Polyethylene Pipe	TW	Top of Wall (Spot Elevation)
SLMP	Smooth Limb Metal Pipe	BW	Bottom of Wall at Grade (Spot Elevation)
PVC	Polyvinyl Chloride Pipe	HP	High Point (Spot Elevation)
DI	Ductile Iron Pipe	LP	Low Point (Spot Elevation)
J-Box	Junction Box	TB	Top of Box (Spot Elevation)
FES	Flared End Section	BC	Back of Curb
RW	Retaining Wall	FC	Face of Curb
HW	Head Wall	FH	Fire Hydrant Assembly
WW	Wing Wall	GV	Gate Valve
AE	Access Easement	MJ	Mechanical Joint
DE	Drainage Easement	N	North
TCE	Temporary Construction Easement	E	East
UE	Utility Easement	W	West
BS	Building Setback	S	South

FRONT

BLEW
Surveying | Engineering
Environmental

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Certificate of Authorization No 11695

DATE: 2025-09-08 JOB NUMBER: 25-1777

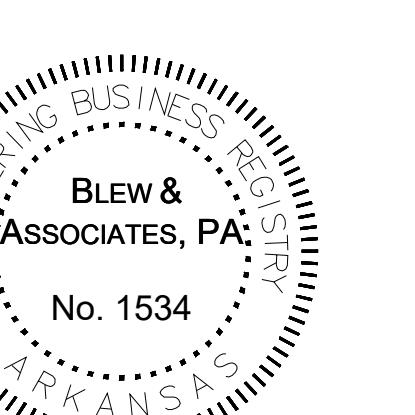
DRAWN BY: H. Smith REVIEWED BY: W. Cody Sexton

DRAWING NAME: 25-1777 Civil 001b.dwg

SHEET NUMBER:

C1

CERTIFICATE OF AUTHORIZATION



* Engineers Notice *
The existence and location of various proposed utility lines or structures shown on these drawings are determined by the Contractor. To the best of our knowledge, there are no existing utilities, except as shown on these drawings, and we assume responsibility to the agency of their depicted location(s) on these drawings. The Contractor is required to take due necessary measures to protect the utility lines shown and all other lines not recorded on these drawings by verification of their location in the field prior to the initiation of the actual portion of the their work.

* Document Ownership *
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A. GENERAL CIVIL SITEWORK NOTES:

1. THE CIVIL SITWORK DRAWINGS IN THIS PACKAGE ARE PROVIDED TO INDICATE MINIMUM STANDARDS FOR DOLLAR GENERAL NEW STORE DEVELOPMENTS. IT IS NOT INTENDED, NOR WILL BE ACCEPTABLE BY DOLLAR GENERAL, AS FINAL CIVIL SITWORK DRAWINGS AND/OR SPECIFICATIONS FOR NEW STORE SITE DEVELOPMENTS. COORDINATE SITE SPECIFIC PLANS WITH ALL DISCIPLINES.
2. PRIOR TO CONSTRUCTION DEVELOPER SHALL PROVIDE DOLLAR GENERAL STORE DESIGN DEPARTMENT A COMPLETE SET OF CIVIL SITWORK DRAWINGS STAMPED BY A CIVIL ENGINEER LICENSED IN THE STATE IN WHICH THE DEVELOPMENT IS PROPOSED. DOLLAR GENERAL SHALL APPROVE ENGINEERED DRAWINGS PRIOR TO DEVELOPER STARTING CONSTRUCTION. ANY MAJOR MODIFICATIONS OF THE DRAWINGS, AFTER INITIAL APPROVAL, SHALL BE RESUBMITTED TO DOLLAR GENERAL FOR PRIOR APPROVAL. ANY CHANGES MADE THAT ARE NOT APPROVED BY DOLLAR GENERAL STORE DESIGN DEPARTMENT, MAY NOT BE ACCEPTABLE, AND MAY REQUIRE RECONSTRUCTION.
3. A BOUNDARY AND TOPOGRAPHIC SURVEY SHALL BE INCLUDED IN THE CIVIL SITWORK DRAWINGS SUBMITTED TO DOLLAR GENERAL. THE DRAWINGS SHALL BE STAMPED BY A PROFESSIONAL LICENSED SURVEYOR REGISTERED IN THE STATE IN WHICH THE DEVELOPMENT IS PROPOSED. TOPOGRAPHIC SURVEY SHALL SHOW UTILITIES (ABOVE AND UNDERGROUND) AND EXISTING GRADE CONTOURS AT ONE FOOT (1') INTERVALS. TOPOGRAPHIC SURVEY SHALL EXTEND BEYOND THE PROPERTY BOUNDARY AS REQUIRED TO SHOW LOCAL STREETS, NEARBY INTERSECTIONS, ADJACENT DITCHES, ETC. AS ITEMS PERTAIN TO NEW DEVELOPMENT.
4. A UTILITY PLAN SHALL BE INCLUDED IN THE CIVIL SITWORK DRAWINGS. THE PLAN SHALL INCLUDE UTILITIES REQUIRED FOR BUILDING SERVICES AND ANY UTILITY MAIN IMPROVEMENTS THAT MAY BE REQUIRED. UTILITY DETAILS SHALL BE INCLUDED IN THE DRAWINGS. UTILITIES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ALL JURISDICTIONAL REQUIREMENTS.
5. DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE FOR ANY NATIONAL, STATE AND/OR LOCAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS. EROSION CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED TO INSURE THAT NO SEDIMENT IS CONVEYED OFF THE SITE TO ADJACENT PROPERTIES. AT A MINIMUM, CONTRACTOR/DEVELOPER SHALL SEED, FERTILIZE AND MULCH ALL DISTURBED AREAS. A SUITABLE STAND OF GRASS SHALL BE OBTAINED AT ALL UNIMPROVED AND NON-LANDSCAPED AREAS.
6. PROVISIONS FOR LOCAL AND/OR REGIONAL LANDSCAPING REQUIREMENTS, INCLUDING LANDSCAPING IRRIGATION, ARE NOT SHOWN ON THESE DRAWINGS. DEVELOPER SHALL PROVIDE LANDSCAPING IN ACCORDANCE WITH JURISDICTIONAL REQUIREMENTS.
7. HANDICAP REQUIREMENTS SHOWN ON THE DRAWINGS ARE MINIMUM REQUIREMENTS. DEVELOPMENT SHALL BE IN ACCORDANCE WITH FEDERAL AND LOCAL REQUIREMENTS FOR HANDICAP ACCESSIBILITY, INCLUDING BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
8. PRIOR TO FINAL ACCEPTANCE OF STORE BY DOLLAR GENERAL, THE SITE SHALL BE CLEAN OF ALL DEBRIS AND TRASH.
9. DEVELOPER SHALL OBTAIN ALL JURISDICTIONAL APPROVALS AND PERMITS REQUIRED FOR THE DEVELOPMENT.
10. WHERE OFFSITE WORK IS REQUIRED FOR THE DEVELOPMENT, SUCH AS DOT STREET IMPROVEMENTS, UTILITY IMPROVEMENTS, ETC., DEVELOPER SHALL INCORPORATE THE IMPROVEMENTS AND/OR OFFSITE DESIGN DRAWINGS INTO THE DOLLAR GENERAL SITWORK DRAWINGS.
11. DOLLAR GENERAL MINIMUM PAVEMENT RECOMMENDATIONS MUST BE MET. DEVIATIONS WILL REQUIRE A GEOTECHNICAL INVESTIGATION INCLUDING DESIGN RECOMMENDATIONS AND APPROVAL BY DOLLAR GENERAL STORE DESIGN.

B. SITE ELECTRICAL AND SIGNAGE GENERAL NOTES:

1. UNDERGROUND ELECTRICAL SERVICE IS PREFERRED FOR DOLLAR GENERAL DEVELOPMENTS. TRANSFORMER PAD DESIGN SHALL BE PROVIDED BY ELECTRICAL UTILITY PROVIDER AND SHALL BE BOLLARD PROTECTED WHEN LOCATED IN A HAZARDOUS AREA.
2. SITE LIGHTING SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 1.5 FOOT-CANDLES AT THE PARKING LOT AREAS, BUILDING ENTRANCES, DUMPSTER AREA AND TRUCK DELIVERY AREA. THE OUTER PERIMETER OF THE BUILDING SHALL BE LIGHTED FOR SECURITY. SITE LIGHTING SHALL BE INSTALLED ALONG THE WALLS OF THE BUILDING AND POLE MOUNTED AT THE PERIMETER OF THE PARKING LOT AS NECESSARY.
3. REQUIRED POLE MOUNTED LIGHTING: 24' HEIGHT POLES WITH LED HEADS. CONFIRM WITH ELECTRICAL DRAWINGS AND PHOTOMETRICS.
4. REQUIRED WALL MOUNTED LIGHTING: CONFIRM WITH ELECTRICAL DRAWINGS AND PHOTOMETRICS.
5. LIGHTED PYLON SIGN: PROVIDE CONDUIT FROM ELECTRICAL PANEL TO LOCATION OF THE PYLON SIGN BASE. BURY CONDUIT TO PYLON. THE CONDUIT IS TO BE 1" AND HAVE ONE SET OF 10/2 WIRE WITH GROUND AND A 20-AMP 2-POLE BREAKER AT THE PANEL. A TEMPORARY 3' TALL WIRING STAKE SHALL BE PROVIDED AT THE PYLON SIGN LOCATION UNTIL THE SIGN IS PERMANENTLY INSTALLED.
6. LIGHTED BUILDING SIGN: PROVIDE CONDUIT FROM ELECTRICAL PANEL TO THE CENTER OF THE SIGN CANOPY. THE CONDUIT IS TO BE 1" AND HAVE ONE SET OF 10/2 WIRE WITH GROUND AND A 20-AMP 2-POLE BREAKER AT THE PANEL. BUILDING CANOPY MUST BE SUFFICIENTLY BUILT TO SUPPORT THE DOLLAR GENERAL SIGN. SIGN WEIGHT UP TO 1,400 LBS. NOTE: IF THE LEASE SPECIFIES A 5'-0" X 40'-0" BUILDING SIGN OR 24" LETTER SET (OR LARGER), 2 QUANTITY - 10/2 WIRE WITH GROUND AND 2 QUANTITY 20 AMP BUILDING SIGN OR 24" LETTER SET (OR LARGER), 2 QUANTITY - 10/2 WIRE WITH GROUND AND 2 QUANTITY 20 AMP.
7. UNDERGROUND ELECTRICAL SHALL BE PROVIDED TO THE SITE LIGHT POLES.
8. THE FINAL PYLON SIGN CONNECTION AND UNDERGROUND CONDUIT IS LANDLORD RESPONSIBILITY.
9. NATIONAL ACCOUNTS FOR DOLLAR GENERAL VENDOR PRICING FOR LIGHTING WALL PACKS AND POLE LIGHT FIXTURES ARE SHOWN ON THE NATIONAL ACCOUNT VENDOR LIST ON SHEET T01

C. SITE PLAN GENERAL NOTES:

THE SITE PLAN IS BASED ON MINIMUM REQUIREMENTS FOR SITE ACCESS, PARKING & FREIGHT DELIVERY. DEVIATIONS FROM THIS PLAN SHALL INSURE PROPER SITE ACCESS FOR DOLLAR GENERAL'S FREIGHT TRUCKS DURING NORMAL BUSINESS (OPERATING) HOURS. ON-SITE DELIVERY TRUCK MANEUVERING PATHS SHALL BE DESIGNED UTILIZING DOLLAR GENERAL'S 73-FOOT LONG FREIGHT TRUCK. PATHS SHALL BE UNOBSTRUCTED AND FREE OF LANDSCAPE ISLANDS, SIGNS, LIGHT POLES, BOLLARDS, ETC. HEAVY DUTY PAVEMENT IS REQUIRED ALONG THE ENTIRE DELIVERY TRUCK (MANEUVERING) PATH.

A MINIMUM OF 35 PARKING SPACES, WHICH INCLUDE 2 HANDICAP ACCESSIBLE SPACES, ARE REQUIRED FOR THIS DEVELOPMENT. THE NUMBER OF PARKING SPACES SHALL BE INCREASED AS REQUIRED BY JURISDICTIONAL REQUIREMENTS. IF ADDITIONAL PARKING SPACES ARE REQUIRED OR PROVIDED, THE TOTAL NUMBER OF H.C. SPACES SHALL BE INCREASED IN ACCORDANCE WITH ADA REQUIREMENTS.

STANDARD PARKING SPACES SHALL HAVE MINIMUM SIZE OF 9' X 20' UNLESS LOCAL JURISDICTION REQUIRE LARGER SPACES. PARKING SPACE STRIPING SHALL BE STANDARD 90 DEGREE STYLE. MINIMUM SIZE OF H.C. PARKING SPACES AND ACCESS AISLES ARE SHOWN ON DETAILS.

PAINTED STANDARD PARKING SPACE AND ISLAND STRIPE COLOR SHALL BE YELLOW FOR ASPHALT PAVEMENT AND CONCRETE PAVEMENT. COLOR FOR PAINTED H.C. ACCESSIBLE PARKING SPACE STRIPES, ACCESS AISLE OR ISLAND STRIPES, H.C. SYMBOLS, SHALL BE "H.C." BLUE COLOR. BOLLARDS SHALL BE PAINTED YELLOW. PAINT SHALL BE REFLECTIVE TYPE.

PAINTED FIRE LANE STRIPING OR PAINTED CURBS SHALL BE PROVIDED AS REQUIRED BY JURISDICTIONAL REQUIREMENTS.

CONCRETE PARKING STOPS SHALL BE USED AT PARKING SPACES ALONG THE OUTER PERIMETER OF PARKING LOT WHEN CONCRETE CURBS ARE NOT USED.

CONCRETE PARKING STOPS SHALL NOT BE USED AT THE FRONT OF THE BUILDING OR ALONG THE PERIMETER (ADJACENT) TO THE BUILDING.

THE SIDEWALK AT THE FRONT OF THE BUILDING SHALL BE A MINIMUM OF 9-FEET WIDE. THE SIDEWALK SHALL INCLUDE A 10-FOOT MINIMUM WIDE ADA ACCESSIBLE RAMP ON AXIS WITH THE MAIN ENTRANCE. SIDEWALKS ALONG OTHER SIDES OF BUILDING SHALL BE MINIMUM 3'-6" WIDE. SIDEWALKS ADJACENT TO BUILDING SLABS SHALL HAVE SEALED ISOLATION JOINTS AND SHALL BE 6" HIGH ABOVE EXTERIOR OR PAVEMENT FINISH GRADES. ALL SIDEWALKS TO RECEIVE BROOM FINISH.

PORTLAND CEMENT SIDEWALKS SHALL BE MINIMUM 4" THICK WITH A 6" HIGH CURB AT ALL PAVEMENT TRANSITIONS, USE WELDED WIRE FABRIC REINFORCING.

THE PREFERRED WIDTH OF SITE CURB CUTS IS 36' WITH ONE ENTRANCE LANE AND TWO (RIGHT TURN AND LEFT TURN) EXIT LANES.

DRIVEWAY CONSTRUCTION WITHIN ROAD RIGHT-OF-WAYS, INCLUDES RADIUS SIZES, PAVEMENT MARKINGS, DRIVEWAY WIDTHS, ETC., SHALL BE IN ACCORDANCE WITH JURISDICTIONAL REQUIREMENTS.

A 25' MINIMUM RADIUS SHALL BE USED FOR DRIVEWAY TURNOUTS AS SHOWN ON PLAN.

SITE PLANS SHALL UTILIZE DOLLAR GENERAL'S PROTOTYPICAL BUILDING DESIGN DIMENSIONS. SHOULD SITE CONSTRAINTS NOT ALLOW THE PROTOTYPICAL BUILDING DESIGN, DEVELOPER SHALL CONTACT DOLLAR GENERAL SITE COMPLIANCE COORDINATORS FOR OPTIONS AND APPROVAL. GROW BUILDING OUTWARD IF NECESSARY TO MAINTAIN CLEAR SALES FLOOR AREA AS SHOWN ON SHEET A1.

THE BUILDING MAIN ENTRANCE SHALL BE ORIENTED ON THE SITE TO FACE THE MAIN ACCESS ROAD. PARKING SHOULD BE CONCENTRATED AT THE FRONT OF THE STORE.

THE ACTUAL LOCATION FOR THE PYLON SIGN SHALL BE SITUATED FOR OPTIMUM VISIBILITY ALONG THE MAIN FRONT TRAFFIC CORRIDOR.

THE LANE OR DRIVE BETWEEN PARKING SPACES SHALL HAVE A MINIMUM WIDTH OF 36' WHEN LANE IS HEAVY DUTY PAVEMENT AND USED FOR FREIGHT TRUCK MANEUVERING. THE LANE SHALL HAVE A MINIMUM WIDTH OF 24' WHEN THE LANE IS CONSTRUCTED OF STANDARD DUTY PAVEMENT AND NOT USED FOR FREIGHT TRUCK MANEUVERING.

BUILDING CORNERS ADJACENT TO PAVED AREAS SHALL BE BOLLARD PROTECTED. ABOVE GROUND UTILITY APPURTENANCES, SUCH AS METERS, TRANSFORMERS, FIRE HYDRANTS IN PAVED AREAS, ETC. SHALL BE BOLLARD PROTECTED.

CONCRETE SPLASH BLOCKS SHALL BE INSTALLED AT ALL BUILDING DOWNSPOUTS THAT ARE NOT ONTO IMPERVIOUS AREAS. DOWNSPOUTS SHALL NOT BE ALLOWED TO DISCHARGE ON CONCRETE SIDEWALKS. SEE DETAIL ON 2/C1.

DUMPSTER AND DELIVERY PADS SHALL BE CONSTRUCTED OF CONCRETE AS DETAILED ON THE DRAWINGS. AN ENCLOSURE SHALL BE PROVIDED ON THE DUMPSTER PAD IF REQUIRED BY JURISDICTION. SANITARY SEWER AND DOMESTIC HOT WATER SHALL BE PROVIDED AT DUMPSTER AREA IF REQUIRED BY JURISDICTION.

PUBLIC SANITARY SEWER CONNECTION REQUIRED.

SEPTIC SYSTEM NOT ALLOWED UNLESS WRITTEN APPROVAL IS OBTAINED FROM DOLLAR GENERAL STORE DESIGN.

HOLDING TANK SYSTEMS ARE NOT ALLOWED.

LIFT STATIONS ARE NOT ALLOWED WITHOUT DOLLAR GENERAL APPROVAL.

EXTERIOR WALLS AND FOUNDATION SHALL HAVE WATERPROOFING.

NOT USED.

ALL DOWNSPOUTS DISCHARGING ONTO NON PAVED AREAS ARE TO HAVE A MIN. 5' PERFORATED LANDSCAPE PIPE STRAPPED TO A MIN. 12"X24" CONCRETE SPLASH BLOCK.

FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON-PAVED AREAS.

FINISH FLOOR TO BE A MINIMUM OF 12" ABOVE 100 YEAR FLOOD PLAIN.

DESIGNER NOTE: IF AN UNOBSTRUCTED VIEW EXISTS OF A RESIDENTIAL BUILDING BETWEEN TENANT PARCEL AND ADJACENT PARCEL, THAN LESSOR SHALL CONSTRUCT A PRIVACY FENCE IN ACCORDANCE WITH TENANT'S REQUIREMENTS.

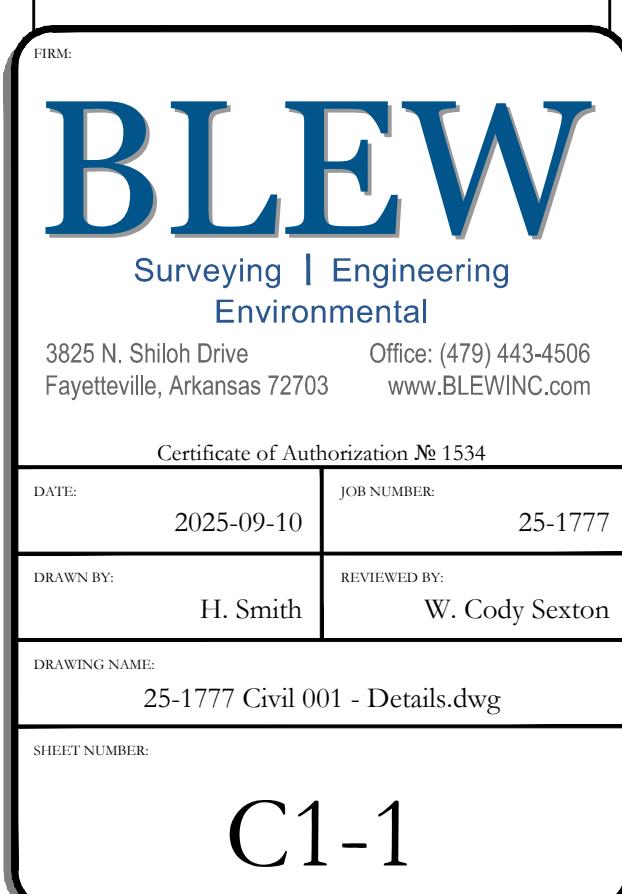
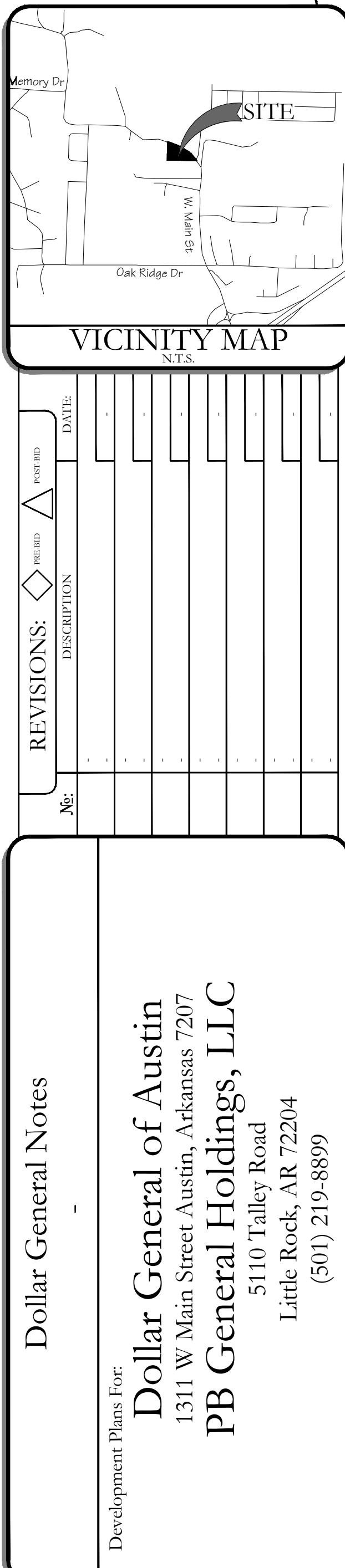
D. SITE PARKING LOT:

1. USE PAVING SPECIFICATIONS NOTED ON SHEET C4 UNLESS A CERTIFIED GEOTECH REPORT SPECIFIES AN ALTERNATE REQUIREMENT (SEE PAGE C4 FOR DETAILS) AND IS APPROVED BY DOLLAR GENERAL STORE DESIGN DEPARTMENT.
2. PROVIDE PARKING LOT IN GOOD CONDITION, PROPERLY STRIPED PER SHEET C1 WITH YELLOW PAINT. MINIMUM OF 35 PARKING SPACES REQUIRED, INCLUDING A MINIMUM OF 2 HANDICAP ACCESSIBLE SPACES (PROPERLY MARKED, SIGNED, AND ADA COMPLIANT).
3. PROPER ACCESS FOR DOLLAR GENERAL'S FREIGHT TRUCKS (FREIGHT TRUCKS ARE APPROXIMATELY 73'-0" IN TOTAL LENGTH) ARE REQUIRED DURING NORMAL BUSINESS HOURS. THIS INCLUDES A TRUCK PATH THAT IS FREE OF LANDSCAPE ISLANDS, SIGNS, LIGHT POLES, AND OTHER BARRIERS WHILE MAINTAINING WIDE RADIUS CURVES ON ALL ENTRANCES AND EXITS. HEAVY DUTY PAVING (SEE PAGE C4 FOR SPECIFICATIONS) REQUIRED FOR TRUCK PATHS.
4. PROVIDE PROTECTION (BOLLARDS, GUARD RAILS, OR EQUIVALENT) FOR ELECTRIC, GAS, HVAC, AND WATER METERS THAT ARE IN POTENTIALLY HAZARDOUS LOCATIONS.
5. CONTRACTOR WILL COMPLETE ALL SITE WORK: FINAL GRADING, LANDSCAPING, SEEDING, PAVING, RETENTION, AND REMOVAL OF DEBRIS.
6. PROVIDE AND INSTALL CONCRETE SPLASH BLOCKS AT ALL UNPAVED DOWN SPOUT LOCATIONS.
7. ROUTE DOWNSPOUTS UNDER SIDEWALKS AS DETAILED IN 2/C1 AT ALL SIDEWALK LOCATIONS.
8. PLEASE NOTE THAT THERE SHOULD NOT BE ANY PARKING STOPS LOCATED DIRECTLY IN FRONT OF OR DIRECTLY ADJACENT TO THE BUILDING.
9. EROSION CONTROL AROUND PROPERTY IS REQUIRED BY CONTRACTOR.
10. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING ALL VEGETATION AND REGIONAL APPROPRIATE LANDSCAPING. ALL LOCAL LANDSCAPE REQUIREMENTS MUST BE MET.
11. THE GRADE FOR THE PAVED TRUCK RECEIVING LANE IS NOT TO EXCEED 2.5%. IF THIS CONDITION CANNOT BE MET, NOTIFY THE DOLLAR GENERAL STORE DESIGN DEPARTMENT IN WRITING WITH PROPOSED GRADING PLAN FOR APPROVAL.
12. THE GRADE FOR THE PAVED PARKING AREA IS NOT TO EXCEED 3.5%.
13. THE CONCRETE DELIVERY TRUCK RECEIVING PAD MUST BE A MINIMUM OF 16'X16'. THE CONCRETE PAD MUST SLOPE AWAY FROM THE BUILDING AT 1/8" PER FOOT.
14. THE CONCRETE DUMPSTER PAD MUST BE A MINIMUM OF 18' X 18'. INCLUDE BOLLARDS BEHIND DUMPSTERS, SPACED 6'-0" APART.
15. IF REQUIRED, THE DUMPSTER ENCLOSURE MUST BE 18' WIDE BY 12' DEEP. USE PRIVACY FENCE AS BASIS FOR DESIGN IF POSSIBLE W/ BOLLARDS BEHIND DUMPSTERS.
16. CURBING OR CONCRETE PARKING STOPS SHOULD BE LOCATED AT PERIMETER PARKING ZONES ONLY.
17. LANDSCAPING AND SITE WORK SHALL BE FREE OF DEBRIS AND IN LIKE NEW CONDITION.

E. HVAC SECURITY FENCING

PROVIDE THE FOLLOWING WHEN THE STORE IS DEFINED AS BOTH SELECT AND UTILIZING NNN LEASE
*(ONLY TO BE USED IF HVAC UNITS ARE GROUND MOUNTED)

1. PROVIDE 69 LINEAL FEET x 8'-0" HIGH 6 GAUGE CHAIN LINK FENCING. SCHEDULE 40 GALVANIZED PIPE.
2. PROVIDE POLYETHYLENE THERMOPLASTIC PRIVACY SLATS, COLOR TO MATCH BUILDING WITH UV INHIBITORS. USE WHEN UNITS ARE FACING STREET OR RESIDENTIAL.
3. PROVIDE (2) 30" GATES WITH COMMERCIAL GRADE HEAVY DUTY HINGES AND LOCKS, FRAMES TO BE SAME AS TOP RAIL.
4. MAINTAIN A MINIMUM OF 4'-0" IN-BETWEEN UNITS AND FENCING. FENCING IS TO BE 6" INSIDE OF THE EDGE OF CONCRETE PAD. ADJUST PAD AND FENCING DIMENSIONS ACCORDINGLY.
5. PROVIDE RAZOR COIL FULL LENGTH OF FENCING, 18" DIAMETER, GALVANIZED.
6. CONFIRM NUMBER OF UNITS AND SIZE OF UNITS AND ADJUST PAD AND FENCING ACCORDINGLY.



Proposed Features:

Feature	Description
Property Line	
Onsite Property Line	
Offsite Property Line	
Right-Of-Way Line	
Setback Line	
Easement Line	
Zoning Limits	
Street / Drive Centerline	
Curb And Gutter	
(See Site Plan For Size)	
Thickened Edge Of Pavement	
Edge Of Grade	
Firelane Striping	
Asphalt Pavement (See Detail Sheet For Pavement Sections)	
Concrete Pavement (See Detail Sheet For Pavement Sections)	
Concrete Sidewalk	
(See Site Plan For Dimensions)	
General Fence Line	
(See Plan For Type)	
Chain Link Fence Line	
Board Fence Line	
Parking Counter	
Storm Catch Basin(s)	
Retaining Wall	
See Utility Plan For Line Sizes	
Gate Valve	
Fire Hydrant & Assembly	
Water Meter - Single	
Water Meter - Double	
Sanitary Sewer Manhole	
Utility Pole	
Light Pole	

Note:
 * Only Symbols That Appear On This Sheet Are Shown In This Legend.
 * See Survey For Existing Features Legend.
 * See Cover Sheet For Abbreviation List.

Site General Notes:

- Dimensions are measured from the Face of Curb, the Edge of Pavement, the Edge of Sidewalk the Face/Corner of the Building(s) or the Center/End of Stripe.
- All radii shall be 4 foot at Face of Curb unless otherwise specified.
- Layout of Site Plan is based on and limited to survey information.
- All Curb & Gutter shall be 24" wide per detail sheet.
- All Pavement Marking shall be applied in accordance with the requirements outlined in the most current edition of the "Manual on Uniform Traffic Control Devices" (MUTCD).
- All Signs, Traffic Control Devices, etc. shall follow the guidelines of the MUTCD.
- The Contractor shall refer to the Architectural drawings for Building Floor plans and Dimensions, Wall Sections, Door Openings, Building Utility Entrance Points, etc. The Contractor shall immediately notify the Architect and Engineer in the event that the Civil Site Plans Building Layout does not match the Architectural drawings.
- All handicap spaces shall be striped / marked in accordance with the handicap striping detail.
- All pavement indicated shall be standard duty bituminous pavement unless otherwise noted on plan. The pavement shall be constructed in accordance with the pavement section detail.
- It is the Contractor's responsibility to calculate construction staking coordinates according to the dimensions shown on these plans. The Contractor shall verify the accuracy of the coordinates shown on the plans and notify the Engineer of any irregularities before construction starts.
- All ramps shall have detectable truncated dome panels per A.D.A. and city standards and the detail sheet.

Site Information

PROPERTY INFORMATION		
Gross Site Area:	128,466.00 sf	2.95 acres
Proposed Dedicated R.O.W.:	0.00 sf	0.00 acres
Net Site Area:	128,466.00 sf	2.95 acres
SITE INFORMATION		
Total Paved Area:	23,673.10 sf	0.54 acres
Total Sidewalk Area:	4,999.53 sf	0.11 acres
Total Building Area:	10,756.77 sf	0.25 acres
Total Impervious Area:	39,429.40 sf	30.7%
Total Pervious Area:	89,036.60 sf	69.3%
PARKING INFORMATION		
Provided Spaces (Total):	35	
Required Accessible Spaces:	2	
Provided Accessible Spaces:	2	

Striping Specifications

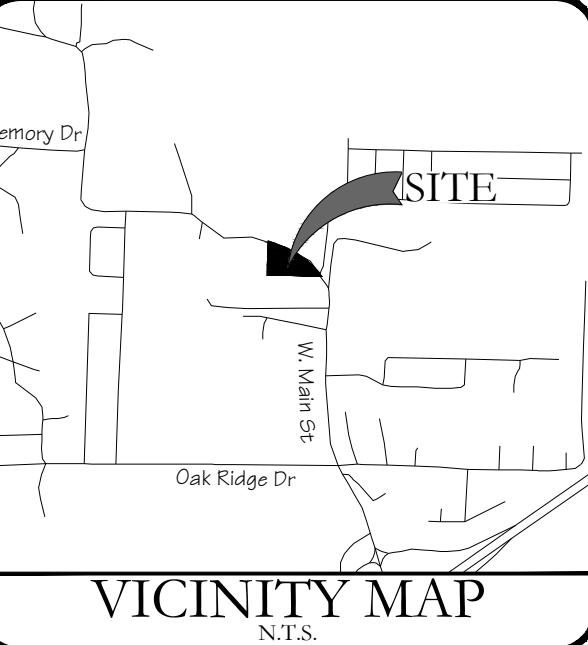
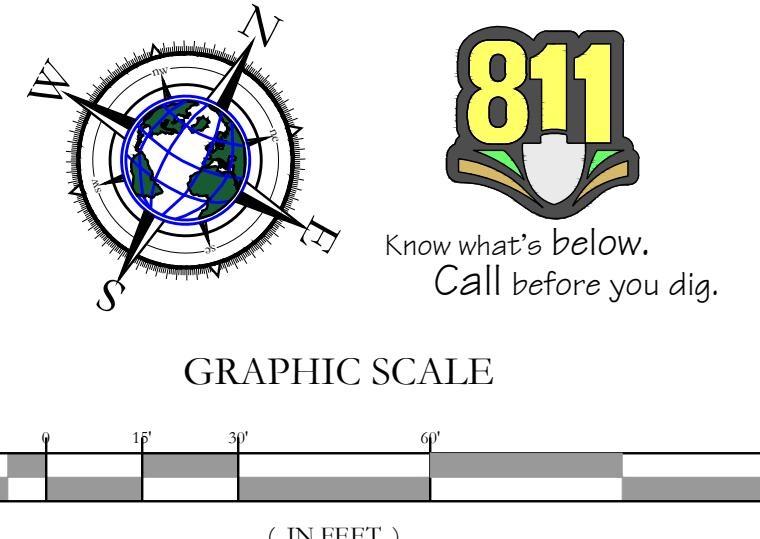
YELLOW CURBING & BOLLARDS	SURFACES SHOULD BE CLEAN & DRY. METAL SURFACES SHALL BE FREE OF HEAVY RUST. SURFACES SHALL RECEIVE 2 COATS OF SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW B55Y300
STRIPING PARKING LOT	SURFACES SHOULD BE CLEAN & DRY. TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT YELLOW TM5495
HANDICAP STRIPING PARKING LOT	SURFACES SHOULD BE CLEAN & DRY. TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT "H.C." BLUE.

Sign Legend

Symbol	Code	Description	Size	Post Type
	SN-04	Handicap Sign	12 x 18	U-Channel

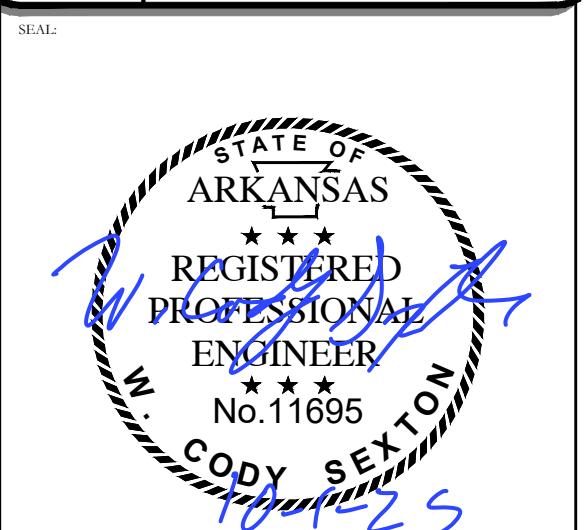
Site Plan Notes:

SN-04	4" Painted Yellow Striping
SN-07	4" Wide Painted Stripes, 4'-0" o.c. @ 45°
SN-08	4" Wide Single Lane Striping - Per M.U.T.C.D. (See Plan for Length and Color)
SN-09	4" Wide Double Lane Striping - Per M.U.T.C.D. (See Plan for Length and Color)
SN-12	Accessible Ramp in Sidewalk
SN-13	At-Grade Delivery Doors
SN-17	Thickened Edge of Pavement



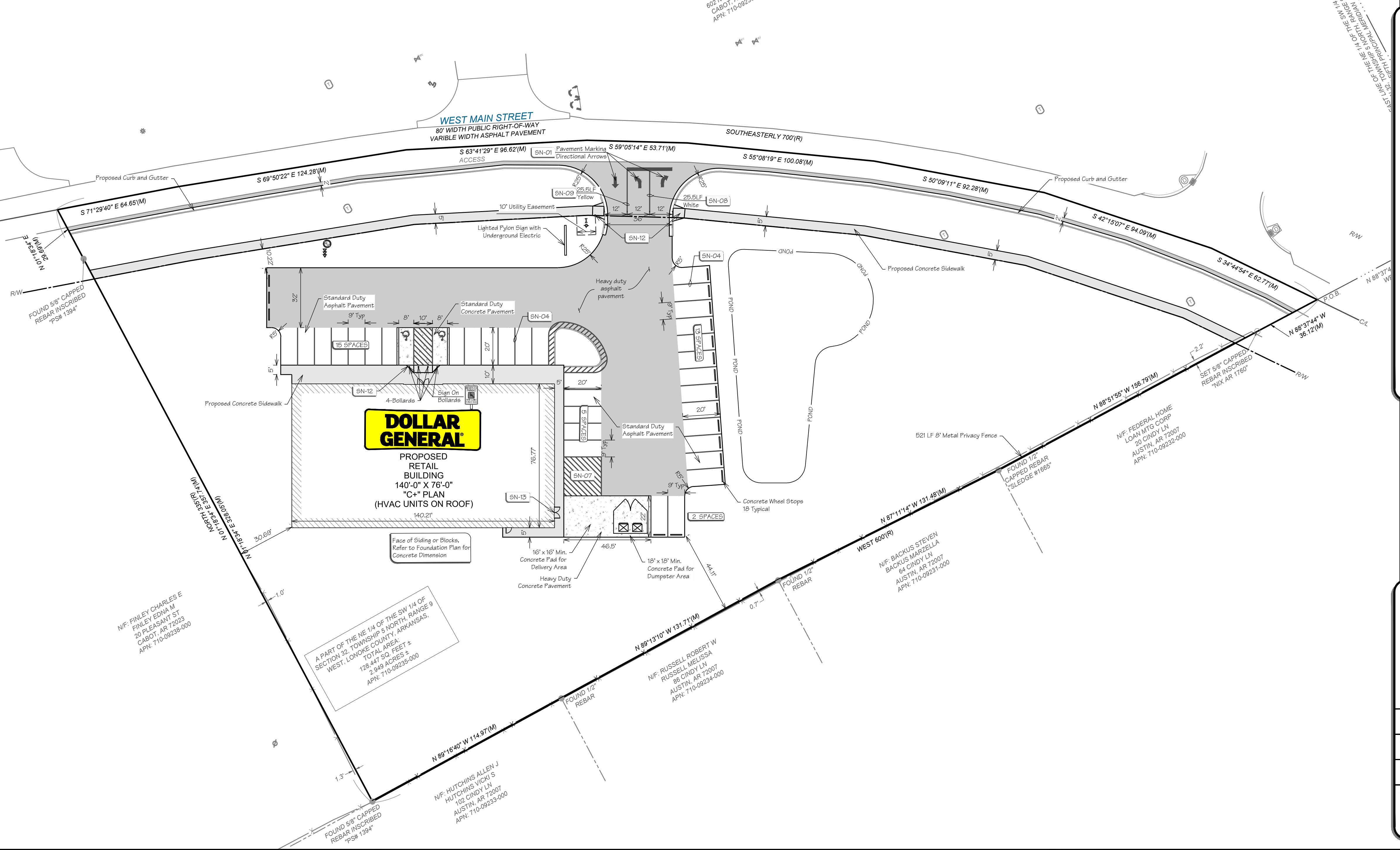
REVISIONS:	MEANING:	POSTED:
DISRUPTION:	DATE:	

Development Plans For:
Dollar General of Austin
 1311 W Main Street Austin, Arkansas 72007
PB General Holdings, LLC
 5100 Talley Road Little Rock, Arkansas 72204
 (501) 219-8899



BLEW
 Surveying | Engineering
 Environmental
 3825 N. Shiloh Drive Office: (479) 443-4506
 Fayetteville, Arkansas 72703
 www.BLEWINC.com

DATE:	2025-09-08	JOB NUMBER:	25-1777
DRAWN BY:	H. Smith	REVIEWED BY:	W. Cody Sexton
DRAWING NAME:	25-1777 Civil 001b.dwg		
SHEET NUMBER:			



C2

Proposed Features:

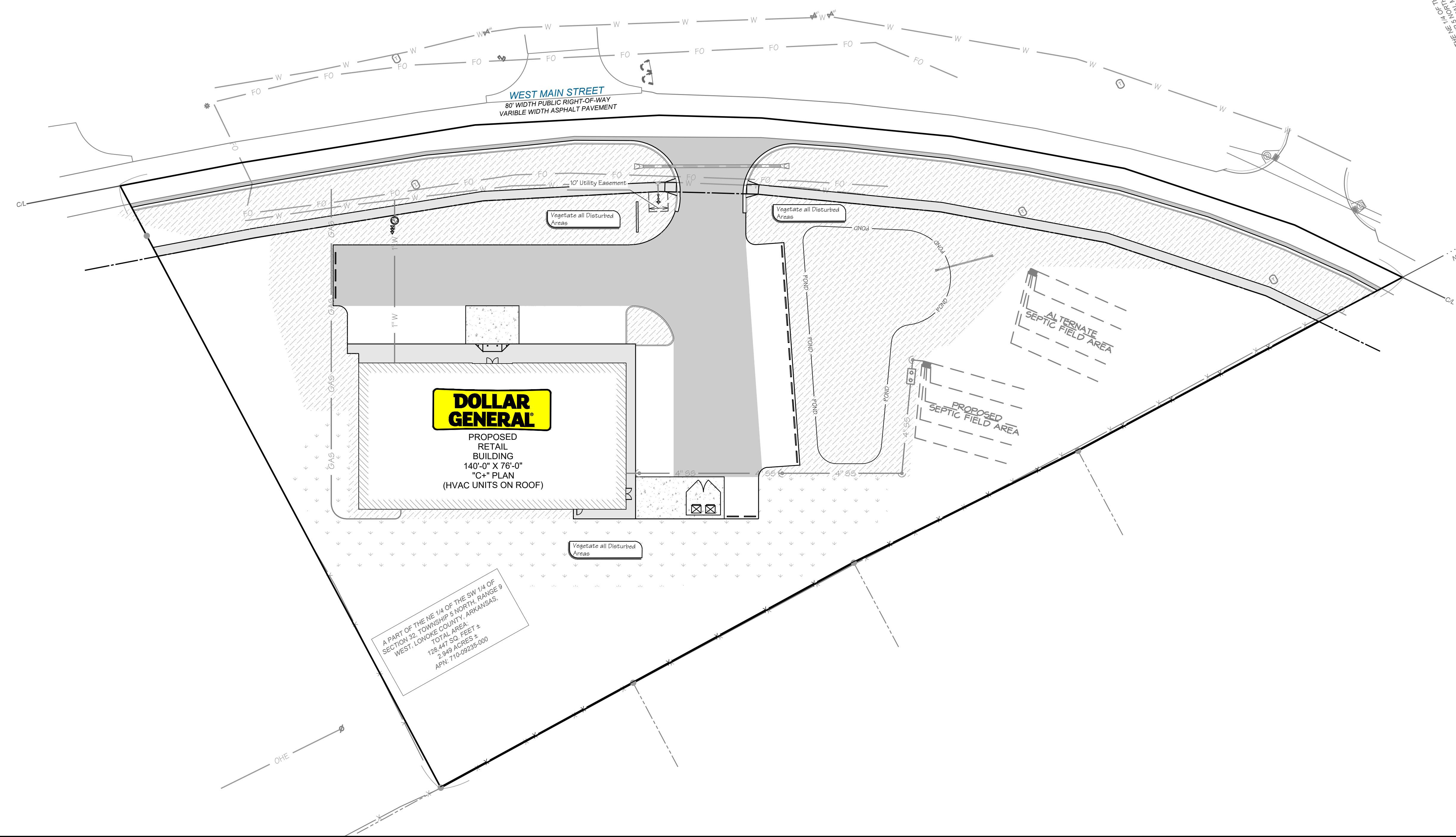
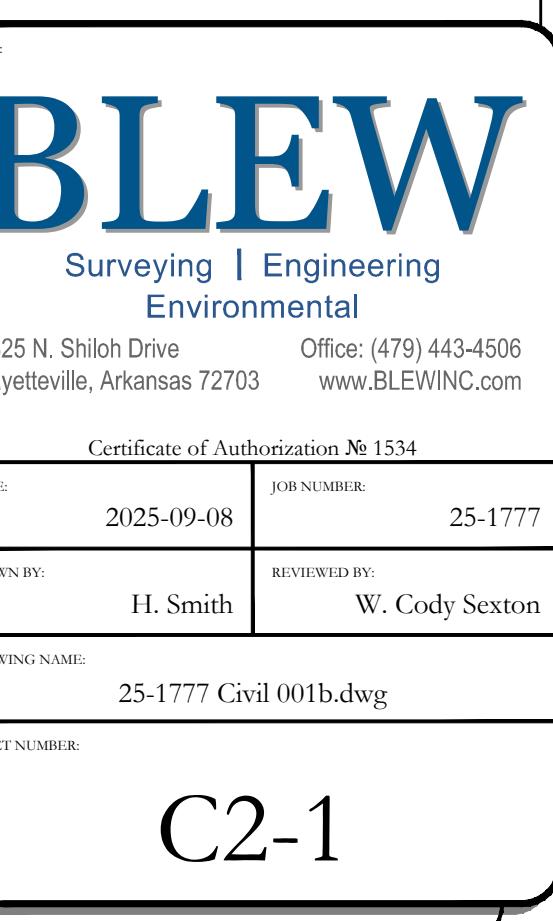
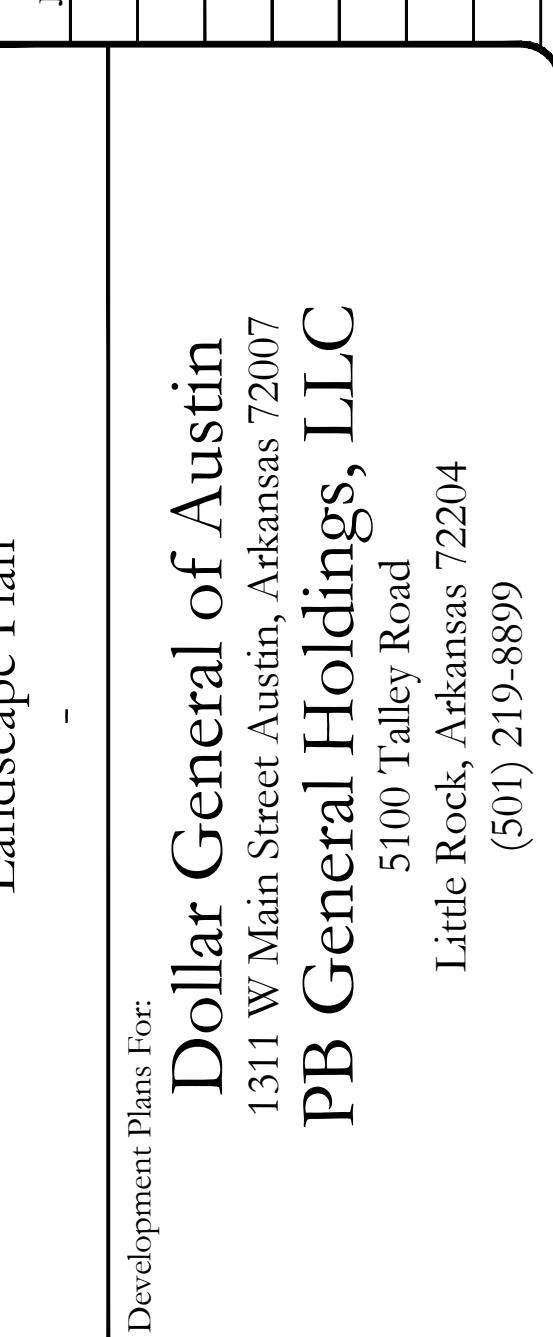
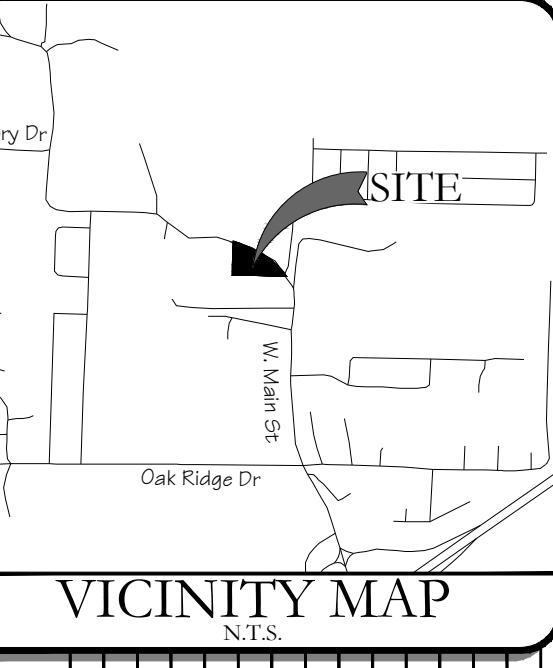
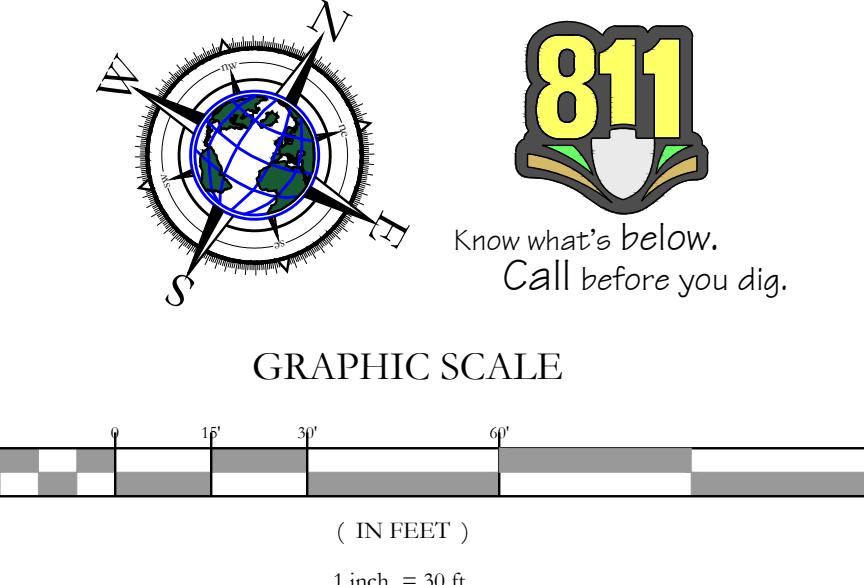
Landscape Legend:

Feature	Description
	Property Line
	Onsite Property Line
	Offsite Property Line
	Right-Of-Way Line
	Setback Line
	Easement Line
	Zoning Limits
	Street / Drive Centerline
	Curb And Gutter (See Site Plan For Size)
	Thickened Edge Of Pavement
	Edge Of Gravel
	Firelane Striping
	Asphalt Pavement (See Detail Sheet For Pavement Sections)
	Concrete Pavement (See Detail Sheet For Pavement Sections)
	Concrete Sidewalk (See Site Plan For Dimensions)
	General Fence Line (See Plan For Type)
	Chain Link Fence Line
	Board Fence Line
	Storm Catch Basin(s)
	Storm Pipe (See Grading Plan For Type and Size)
	Retaining Wall
<u>See Utility Plan For Line Sizes</u>	
	Water Line
	Tee, Cross, Bends, Gate Vale & Reducer
	Fire Hydrant & Assembly
	Water Meter - Single
	Water Meter - Double
	Sanitary Sewer Force Main
	Sanitary Sewer Line
	Sanitary Sewer Service
	Sanitary Sewer Manhole
	Gas Line
	Overhead Electric Line
	Underground Electric Line
	Cable Television Line
	Fiber Optic Line
	Overhead Telephone Line
	Underground Telephone Line
	Utility Pole
	Light Pole

Note:

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- * See Cover Sheet For Abbreviation List.

Feature	Type	Area
GRASS:		
	Grass Area (Sod) with Irrigation design by subcontractor	$34,934 \pm$ SQ. FT.
↓ ↓ ↓ ↓ ↓ ↓	Grass Area (Seed & Straw) Hand watered as necessary	$11,436 \pm$ SQ. FT.



Proposed Features:

Feature	Description
Property Line	
Onsite Property Line	
Offsite Property Line	
Right-Of-Way Line	
Easement Line	
Street / Drive Centerline	
Curb And Gutter	
(See Site Plan For Size)	
Thickened Edge Of Pavement	
Edge Of Gravel	
Asphalt Pavement (See Detail Sheet For Pavement Sections)	
Concrete Pavement (See Detail Sheet For Pavement Sections)	
Concrete Sidewalks (See Site Plan For Dimensions)	
General Fence Line (See Plan For Type)	
Chain Link Fence Line	
Board Fence Line	
Storm Catch Basin(s)	
Ditch Line	
Fault Line / Grade Change	
Storm Pipe (See Grading Plan For Type and Size)	
Retaining Wall	
See Utility Plan For Line Sizes	
Water Line	
Tee, Cross, Bends, Gate Valve & Reducer	
Fire Hydrant & Assembly	
Water Meter - Single	
Water Meter - Double	
Sanitary Sewer Force Main	
Sanitary Sewer Line	
Sanitary Sewer Service	
Sanitary Sewer Manhole	
Gas Line	
Overhead Electric Line	
Underground Electric Line	
Cable Television Line	
Fiber Optic Line	
Overhead Telephone Line	
Underground Telephone Line	
Utility Pole	
Light Pole	

Note:
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 • See Survey For Existing Features Legend.
 • See Cover Sheet For Abbreviation List.

Grading Notes:

PRE-CONSTRUCTION:

- Prior to start of site grading, erosion control measures shall be installed in accordance to the erosion control plan. These erosion control measures, as a minimum, shall include all silt fencing, temporary sediment ponds, temporary construction entrance, and any other measures necessary to ensure that sediment does not leave the site.
- Contractor shall notify the appropriate Utility Companies and the State One-Call System a minimum of 48 hours prior to any excavation for the location of all underground utility lines that will be affected by this development. Please note that existing utilities noted on plan have been located with all available information and that exact location of utility lines may not be accurate.
- A pre-construction meeting shall be held on site once ALL Erosion Control Measures have been installed and prior to any site grading / construction / demolition.

GENERAL:

- Contractor shall install/use all required equipment so as to comply with all safety standards dictated by OSHA, Federal, State, and Local Regulations.
- Contractor shall coordinate with appropriate Utility Company as listed on the cover sheet for adjustment of utility lines affected by cut and fill.
- Areas to be graded shall be cleared and grubbed so as to remove all organic material including but not limited to vegetation, trees, roots, debris or other materials that would affect the stability of the fill. If uncertainty exists as to the suitability of any material, the contractor shall have a Registered Geotechnical Engineer make the final determination.
- Contractor shall ensure that the fill material be free of organic materials, frozen materials, muck, highly compressible materials, rocks, rubbish, timber, brush, stumps, building debris, and other materials that would negatively affect the fill material.
- Contractor shall stock pile and maintain all good top soil removed from areas to be graded and filled for use in final grading all critical / unpaved areas.
- Contractor shall proof roll subgrade of all areas to be paved prior to installation of paving materials. Any soft areas shall be removed and replaced with select fill and compacted as noted in the pavement section shown on the detail sheet.
- Contractor shall employ a Geotechnical Engineering / Inspection Firm registered with the State of Arkansas for inspection and testing of subgrade for proper compaction (95% standard proctor).

STORM SYSTEM:

- All drainage structures under paved areas and / or areas expecting heavy duty traffic loading shall be designed to meet AASHTO Heavy Duty (H20) traffic loading.
- Storm pipe box shall be bedded in accordance with the bedding detail and in accordance with the specifications of ASTM D2321 (latest edition available at <http://www.ASTM.org>).
- Storm system is measured from the center of the box and from the end of the flared end sections.
- Drainage structures shall be constructed so that the appropriate section of the box, as in the gutter for curb inlets, the grate for drop inlets, is at an elevation that will allow for the maximum drainage into the box in accordance with proposed grades and spot elevation shown on the plan. The contractor shall notify the engineer of record in the event of a discrepancy.
- All drainage structures located within the State or Local Right of Way shall be constructed in accordance with the specifications and details of the Appropriate Governing Agency.

POST-CONSTRUCTION:

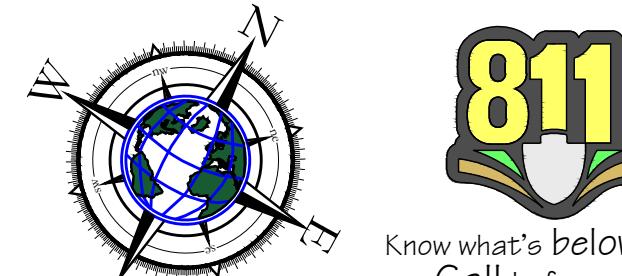
- Contractor shall scarify any area to receive top soil to a min. depth of 3".
- All unpaved disturbed areas shall be graded smooth and receive a minimum of 4" of topsoil. The area shall be seeded and / or sodded in accordance with the landscape plan. The area shall be watered until a hardy cover of grass has been established and 80% of the site has been stabilized in accordance with ADEQ's Construction General Permit (AR150000).
- Once the site has reached final stabilization in accordance to the requirements set forth in ADEQ's Construction General Permit, the contractor shall file a notice of termination.

Storm Sewer Schedule 1,2

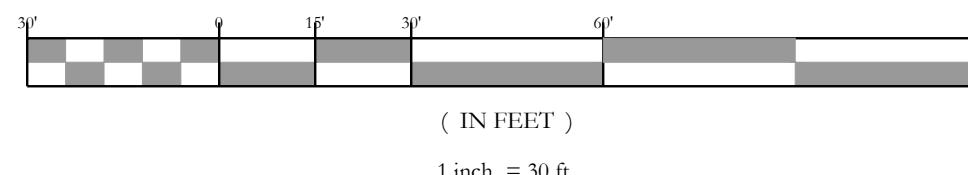
Inlet Up	Top Elev.	Inv. Up	Length	Size	Type	Slope	Inv. Dn	Inlet Dn
STORM LINE "A"								
A-2	253.64	253.14	28 LF	6 in	HDPE	@ 0.50%	253.00	A-1
STORM LINE "B"								
B-2	255.11	253.61	72 LF	18 in	RCP	@ 0.50%	253.25	B-1

¹ - Reinforced Concrete Pipe shall be Class III per ASTM C-76, with flexible plastic bitumen gaskets at joints.

² - Pipes not located under pavement areas are permitted to be High Density Poly Ethylene Pipe (HDPE) or Smooth Lined Metal Pipe (SLMP). Both types of pipes shall have a minimum Manning's "n" value of 0.013 to be verified by the Engineer of Record.

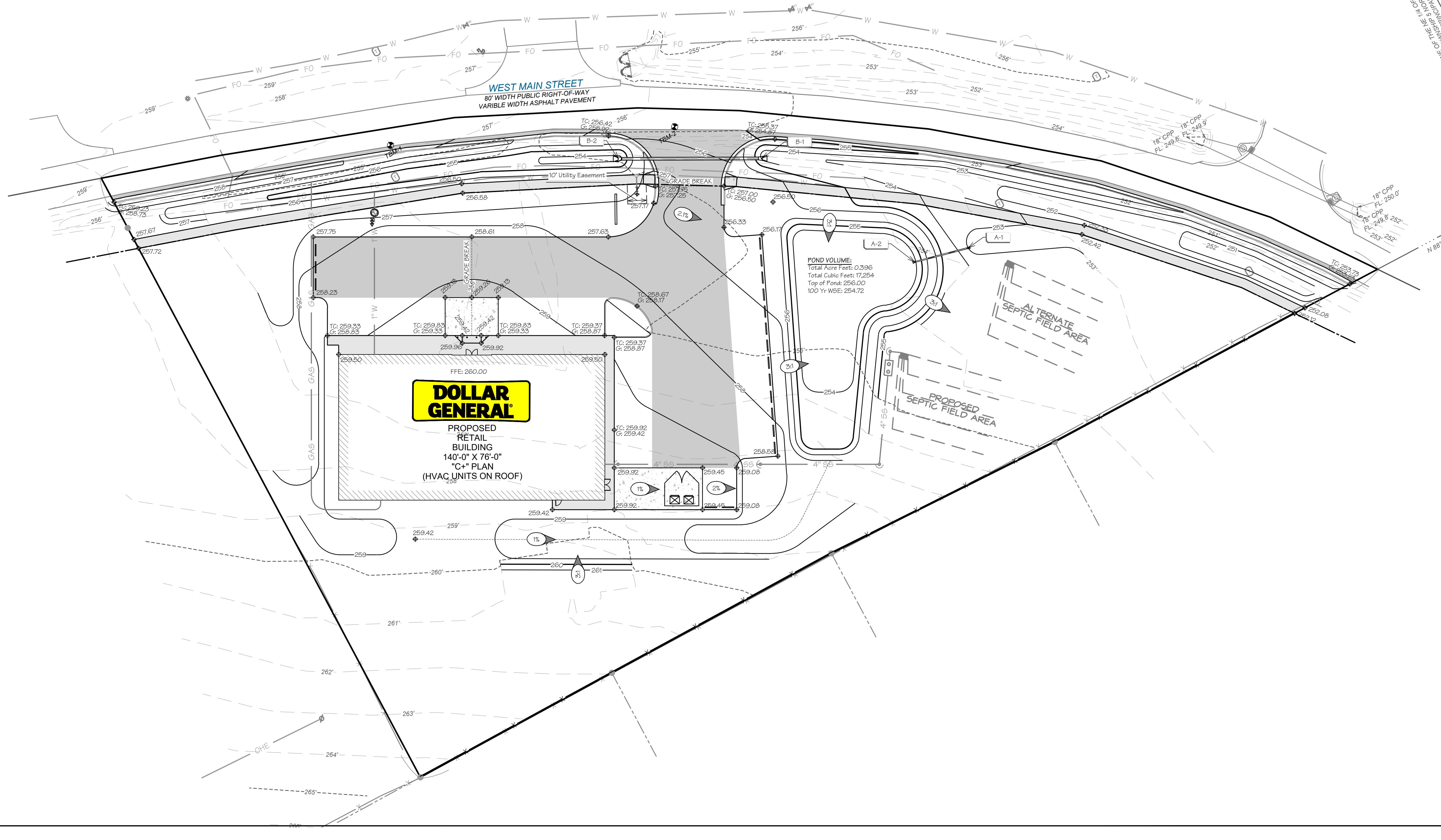


GRAPHIC SCALE



VICINITY MAP

N.T.S.



Grading & Drainage Plan

Development Plans For:

Dollar General of Austin
 1311 W Main Street Austin, Arkansas 72007
PB General Holdings, LLC
 5100 Valley Road Little Rock, Arkansas 72204
 (501) 219-8899

BLEW
 Surveying | Engineering
 Environmental

3825 N. Shiloh Drive Fayetteville, Arkansas 72703
 Office: (479) 443-4506
 www.BLEWINC.com

Certificate of Authorization No 1534

DATE: 2025-09-08 JOB NUMBER: 25-1777

DRAWN BY: H. Smith REVIEWED BY: W. Cody Sexton

DRAWING NAME: 25-1777 Civil 001b.dwg

SHEET NUMBER:

C4

STATE OF ARKANSAS
 REGISTERED PROFESSIONAL
 ENGINEER
 No. 11695
 CODY SEXTON
 25-1777

Proposed Features:

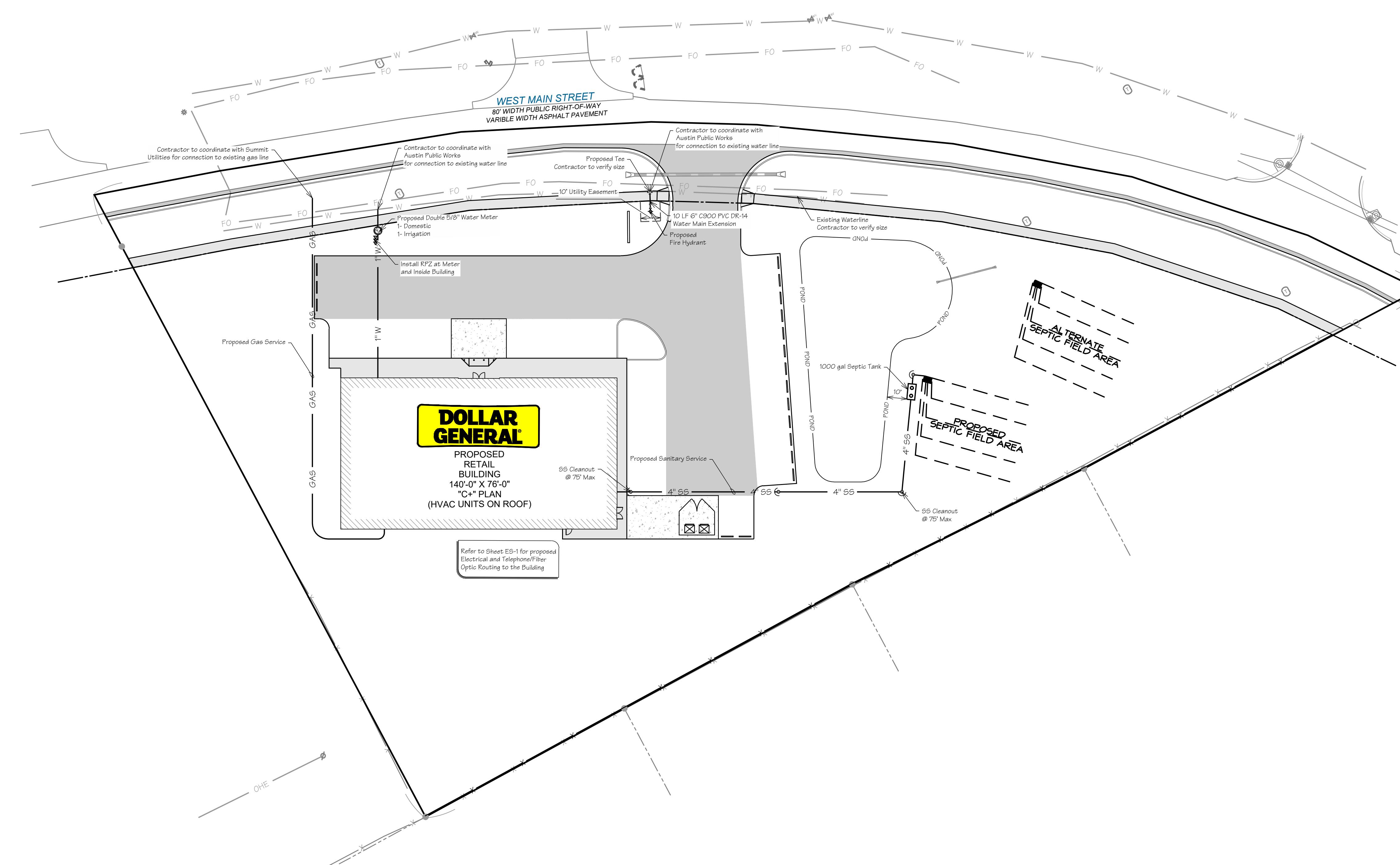
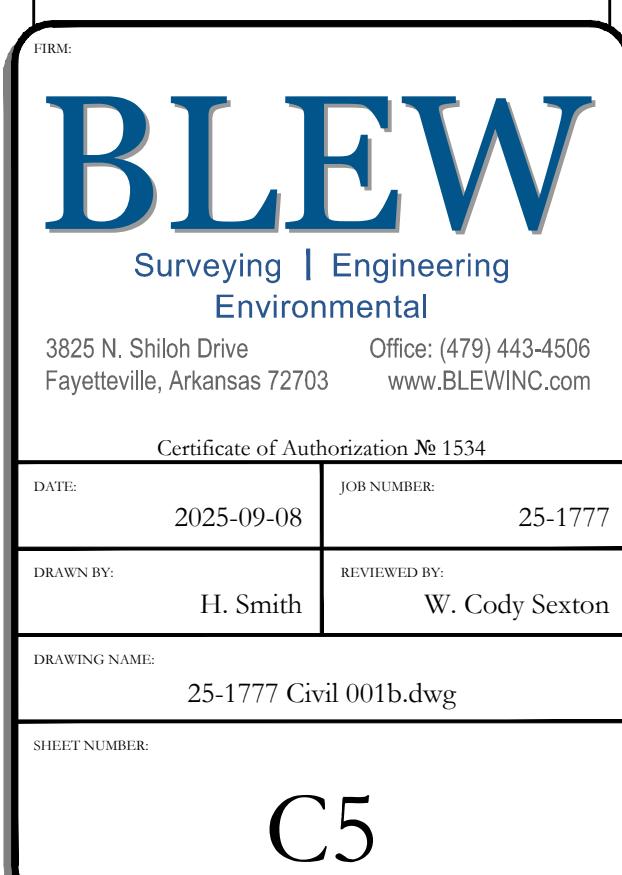
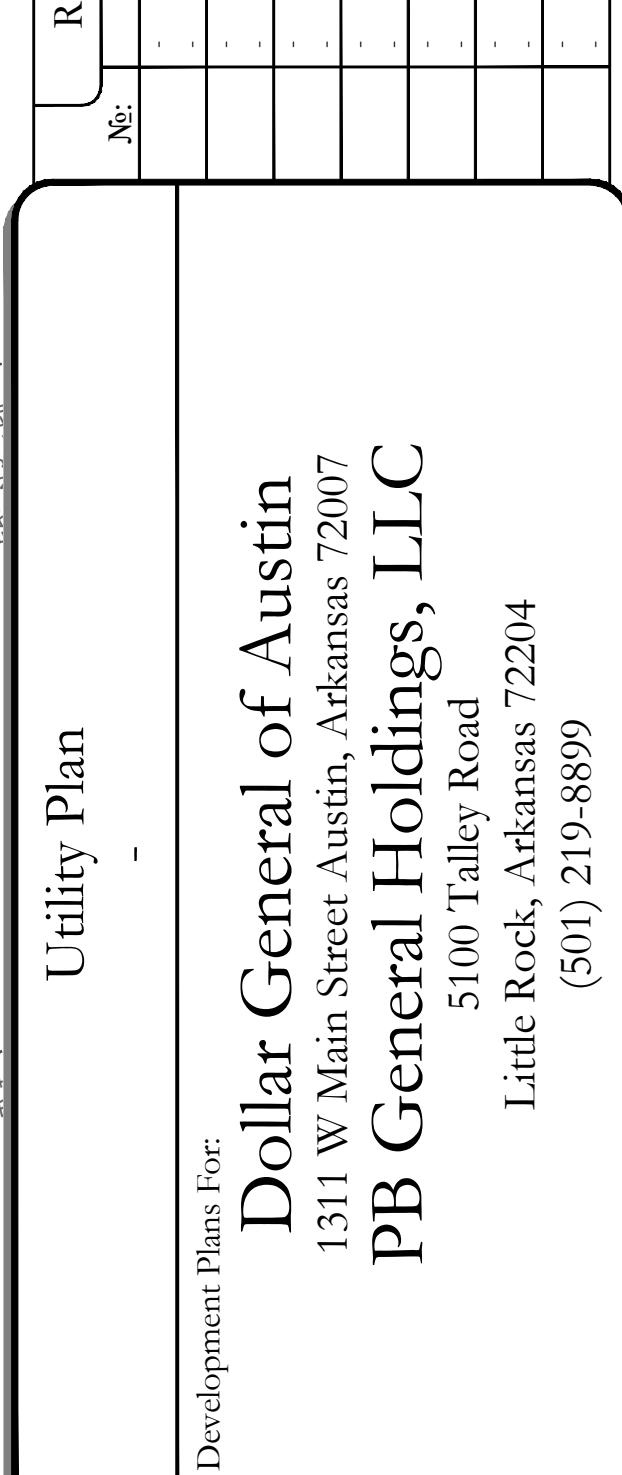
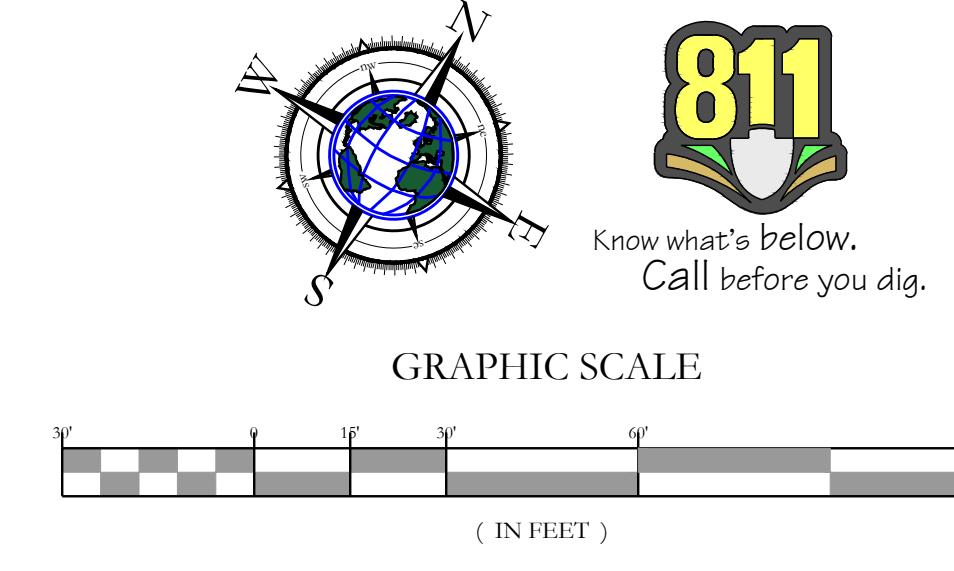
General Utility Notes:

Feature	Description
—	Property Line
—	Onsite Property Line
—	Offsite Property Line
—	Right-Of-Way Line
—	Easement Line
—	Curb And Gutter (See Site Plan For Size)
—	Thickened Edge Of Pavement
—	Edge Of Gravel
—	Asphalt Pavement (See Detail Sheet For Pavement Sections)
—	Concrete Pavement (See Detail Sheet For Pavement Sections)
—	Concrete Sidewalk (See Site Plan For Dimensions)
—	General Fence Line (See Plan For Type)
—	Chain Link Fence Line
—	Board Fence Line
—	Storm Catch Basin(s)
—	Storm Pipe (See Grading Plan For Type and Size)
—	Retaining Wall
—	Water Line
X	Tee, Cross, Bends, Gate Valve & Reducer
—	Fire Hydrant & Assembly
—	Water Meter - Single
—	Water Meter - Double
—	Sanitary Sewer Force Main
—	Sanitary Sewer Line
—	Sanitary Sewer Service
—	Sanitary Sewer Manhole
—	Gas Line
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—	Fiber Optic Line
—	Overhead Telephone Line
—	Underground Telephone Line
—	Utility Pole
—	Light Pole

Note:

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- ✗ THE CONTRACTOR SHALL CONTACT "ARKANSAS ONE-CALL" AND/OR THE APPROPRIATE UTILITY COMPANY A MINIMUM OF 48 HOURS PRIOR TO EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY EXISTING UTILITY LINES AND SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY FOR REPAIR OF THE UTILITY.
- ✗ A PRE-CONSTRUCTION MEETING SHALL BE HELD PRIOR TO UTILITY CONSTRUCTION. THE CONTRACTOR SHALL SCHEDULE THE PRE-CONSTRUCTION MEETING WITH THE APPROPRIATE UTILITY AS REQUIRED AND WITH THE ENGINEER OF RECORD FOR THE PROJECT.
- ✗ WATER AND SEWER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH AUSTIN PUBLIC WORKS WORKS SPECIFICATION REQUIREMENTS FOR THE CONSTRUCTION OF WATER AND SEWER FACILITIES.
- ✗ WATER AND STORM LINES SHALL HAVE A MINIMUM OF EIGHTEEN (18) INCHES VERTICAL SEPARATION AND TEN (10) FOOT HORIZONTAL SEPARATION FROM SANITARY SEWER LINES. ENCASEMENTS MAY BE REQUIRED AS NOTED ON PLAN AND PROFILES.
- ✗ ALL PLUGS, CAPS, TEES, AND BENDS SHALL BE PROVIDED WITH REACTION BACKING / THRUST BLOCKING OR SHALL BE RESTRAINED JOINT PIPE. THE FITTING MUST BE BRACED AGAINST UNEXCAVATED EARTH AT THE END THE TRENCH WITH 3000 psi PC CONCRETE. RETAINER GLANDS MAY BE REQUIRED, AS DETERMINED BY AUSTIN PUBLIC WORKS.
- ✗ CONTRACTOR SHALL REFER TO ARCHITECTURAL OR PLUMBING DRAWINGS FOR UTILITY CONNECTION LOCATIONS FOR THE BUILDING.
- ✗ DIMENSIONS ARE TO THE FACE / CORNER OF THE BUILDING, FACE OF CURB, AND CENTERLINE OF PIPE AND FITTING.
- ✗ CONTRACTOR SHALL COORDINATE DISRUPTION OF UTILITY
- ✗ THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THE DRAWINGS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS AND WE ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OF THEIR DEPICTED LOCATION(S) ON THESE DRAWINGS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN, AND ALL OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE DRAWINGS BY VERIFICATION OF THEIR LOCATION IN THE FIELD PRIOR TO THE INITIATION OF THE ACTUAL PORTION OF THEIR WORK.
- ✗ CONTRACTOR SHALL OBTAIN AUTHORIZATION FROM AUSTIN PUBLIC WORKS PRIOR TO CONNECTION TO ANY EXISTING WATER LINE, SEWER LINE, OR SEWER MANHOLE.
- ✗ PROPOSED UTILITIES THAT ARE TO BE BURIED WITHIN THE SAME TRENCH SHALL BE COORDINATED WITH AND APPROVED BY THE APPROPRIATE UTILITY COMPANIES.
- ✗ PROPOSED UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS / SPECIFICATIONS OF THE GOVERNING AGENCY.
- ✗ CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY FOR ADJUSTMENT OF UTILITY LINES AFFECTED BY CUT AND FILL.
- ✗ CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY FOR ROUTING OF GAS, TELEPHONE, CABLE, AND ELECTRICITY AS REQUIRED.
- ✗ CONTRACTOR SHALL MAINTAIN A MIN. OF 5 FOOT SEPARATION FROM WATER/SEWER AND STORM SEWER, GAS, ELECTRIC, STREET LIGHTS AND TELEPHONE AS REQUIRED.



PAVEMENT DETAILS

1. DETAILS DOLLAR GENERAL STANDARD REQUIREMENTS AND MAY INCREASE OR DECREASE WITH VARIOUS SOIL CONDITIONS. A GEOTECHNICAL INVESTIGATION WITH PAVEMENT DESIGN REQUIREMENTS SHALL BE PROVIDED BY THE GEOTECHNICAL REPORT. PAVEMENT DETAILS ARE MINIMUM DOLLAR GENERAL PAVEMENT REQUIREMENTS. INCREASED RECOMMENDATIONS ARE TO BE PROVIDED BY THE GEOTECHNICAL REPORT.

2. THE SUBGRADE MATERIALS SHALL BE PROOF ROLLED AND SCARIFIED AND COMPACTED PRIOR TO PAVING. IF THE SUBGRADE IS UNSTABILIZED, THEY SHALL BE REMOVED AND REPLACED WITH COMPACTED SELECT MATERIAL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.

3. HEAVY DUTY CONCRETE PAVEMENT AND STANDARD DUTY CONCRETE PAVEMENT (AS RECOMMENDED BY THE GEOTECHNICAL REPORT OR DOLLAR GENERAL MINIMUMS) SHALL BE USED FOR PAVEMENT AREAS WHERE THE PAVEMENT IS SUBJECT TO HEAVY DUTY USE.

4. CONCRETE PAVEMENT PLAN SHALL BE PROVIDED TO DOLLAR GENERAL FOR PRIOR APPROVAL. ALL CONCRETE PAVEMENT SHALL BE PROOF ROLLED AND SCARIFIED AND COMPACTED PRIOR TO USE AT JOINTS. REFER TO ACI 304 FOR DESIGN AND CONSTRUCTION OF CONCRETE PAVEMENT JOINTS FOR JOINT DESIGN AND LAYOUT.

5. THE DENSITY OF ALL ASPHALT PAVING SHALL BE BETWEEN 80% AND 90% (ASTM C204) TESTING BY GC.

2" ASPHALT - SEE NOTE 5.

7" COMPACTED AGGREGATE BASE

COMPACTED SUB GRADE

STANDARD DUTY ASPHALT DETAIL

SCALE: NOT TO SCALE

3" ASPHALT - SEE NOTE 5.

8" COMPACTED AGGREGATE BASE

COMPACTED SUB GRADE

HEAVY DUTY ASPHALT DETAIL

SCALE: NOT TO SCALE

9" 4,000 PSI FIBER REINFORCED CONCRETE

4" COMPACTED AGGREGATE BASE

COMPACTED SUB GRADE

STANDARD DUTY CONCRETE DETAIL

SCALE: NOT TO SCALE

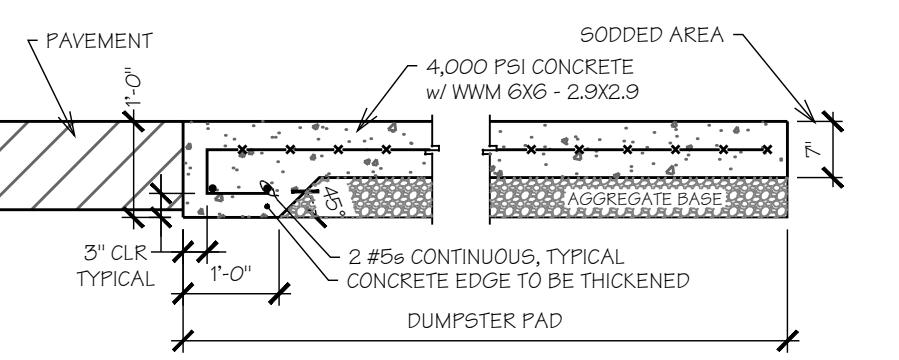
6" 4,000 PSI FIBER REINFORCED CONCRETE

4" COMPACTED AGGREGATE BASE

COMPACTED SUB GRADE

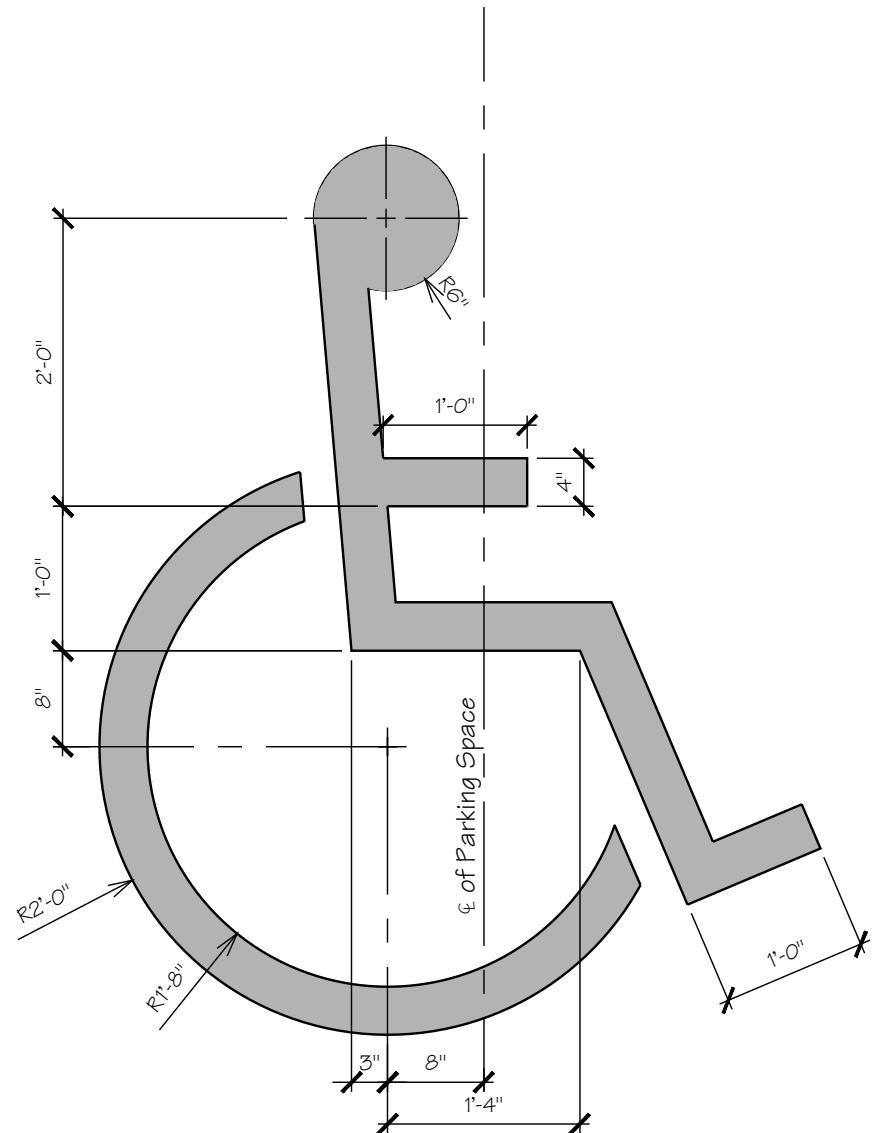
HEAVY DUTY CONCRETE DETAIL

SCALE: NOT TO SCALE



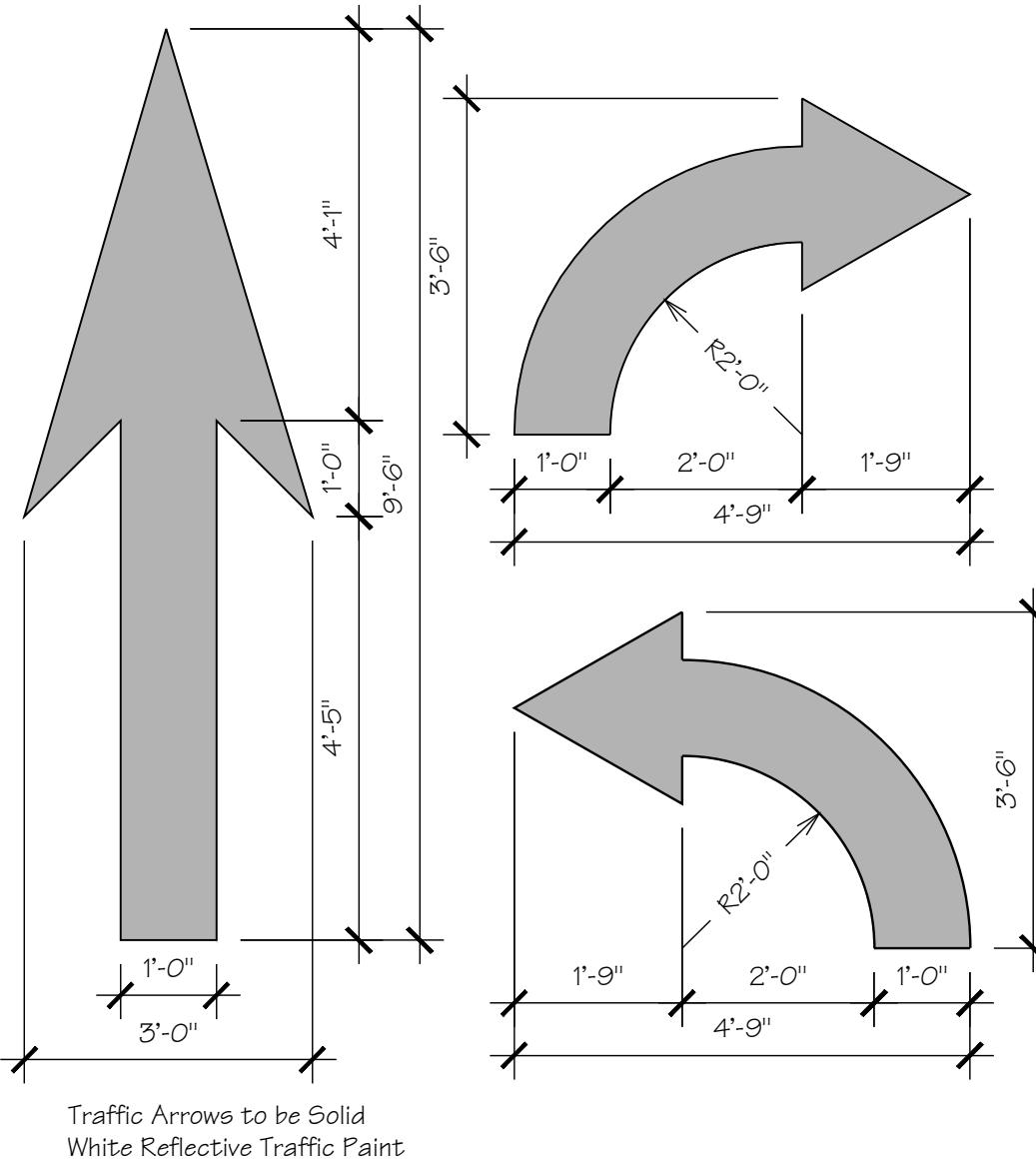
Dumpster Pad Cross Section Detail

Scale: 1/2" = 1'-0"



Accessible Striping Detail

Scale: 3/4" = 1'-0"



Traffic Flow Arrows

Scale: 1/2" = 1'-0"



VICINITY MAP

N.T.S.

REVISIONS:	0	ROAD	
DISRUPTION:	0	DATE:	
ME:			

REVISIONS:	0	ROAD	
DISRUPTION:	0	DATE:	
ME:			

REVISIONS:	0	ROAD	
DISRUPTION:	0	DATE:	
ME:			

REVISIONS:	0	ROAD	
DISRUPTION:	0	DATE:	
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REVISIONS:	0	ROAD	
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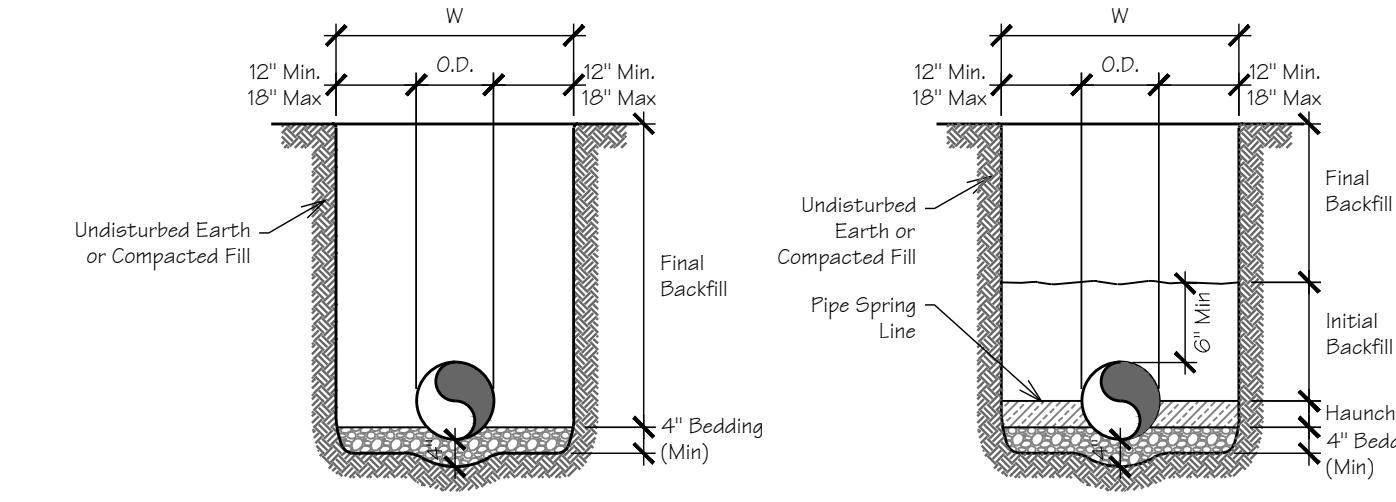
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RIGID PIPE

FLEXIBLE PIPE

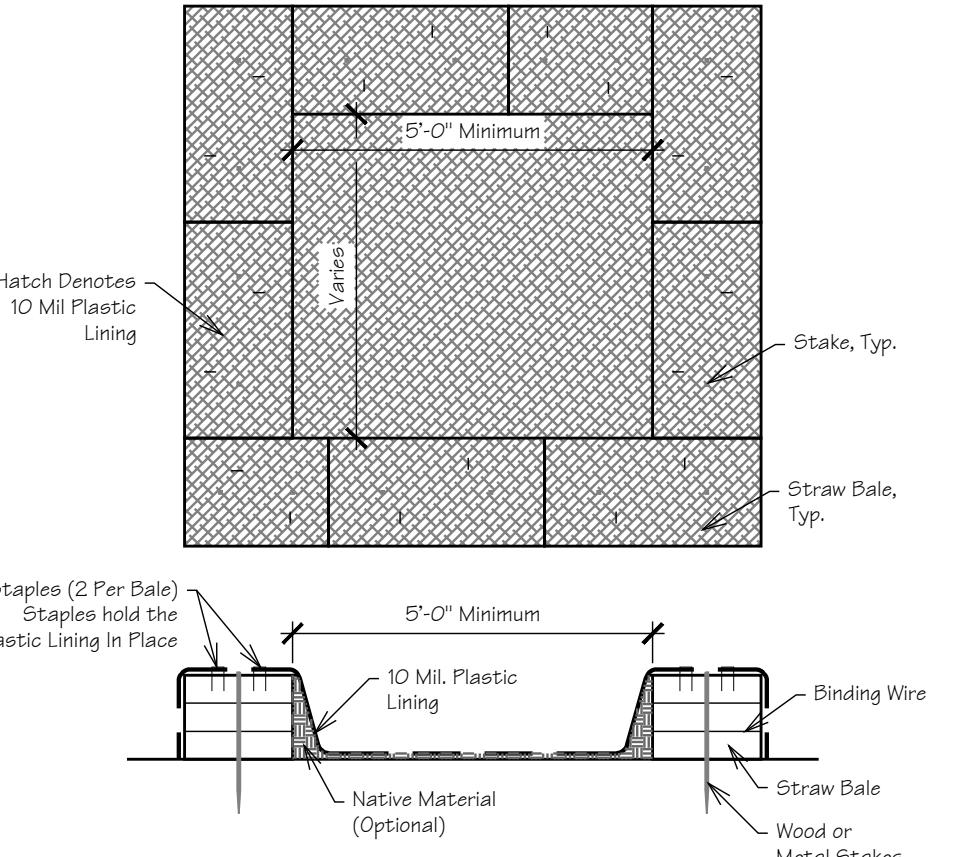
GENERAL NOTES

1. BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 95% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 95% PROCTOR.
3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR.
4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
5. FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.
6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-00.
8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR THE SOIL TYPES LOCATED ON THE THIS SITE AND SHALL FOLLOW THE GEOTECH RECOMMENDATIONS.

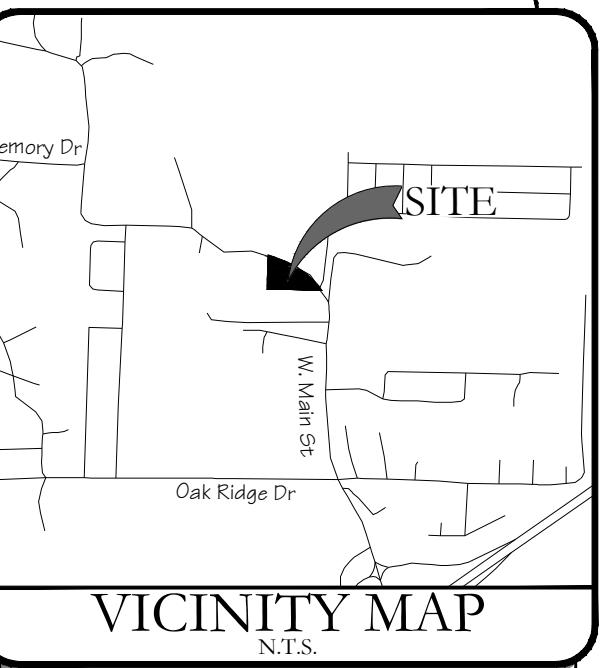
**STORM SEWER
TRENCH AND BEDDING**

NOT TO SCALE



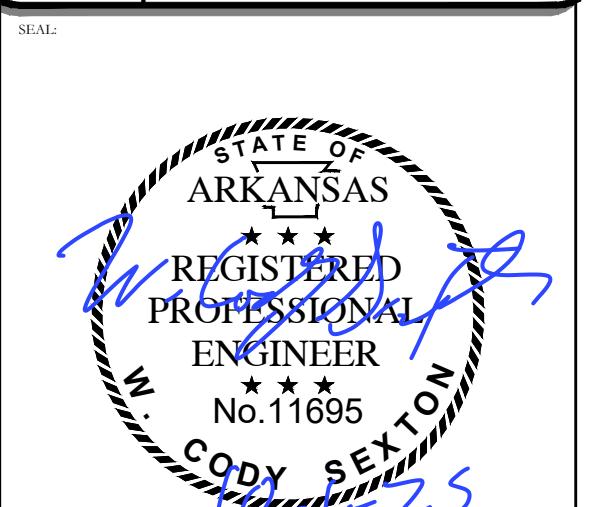
Concrete Washout

Scale: 3/8" = 1'-0"

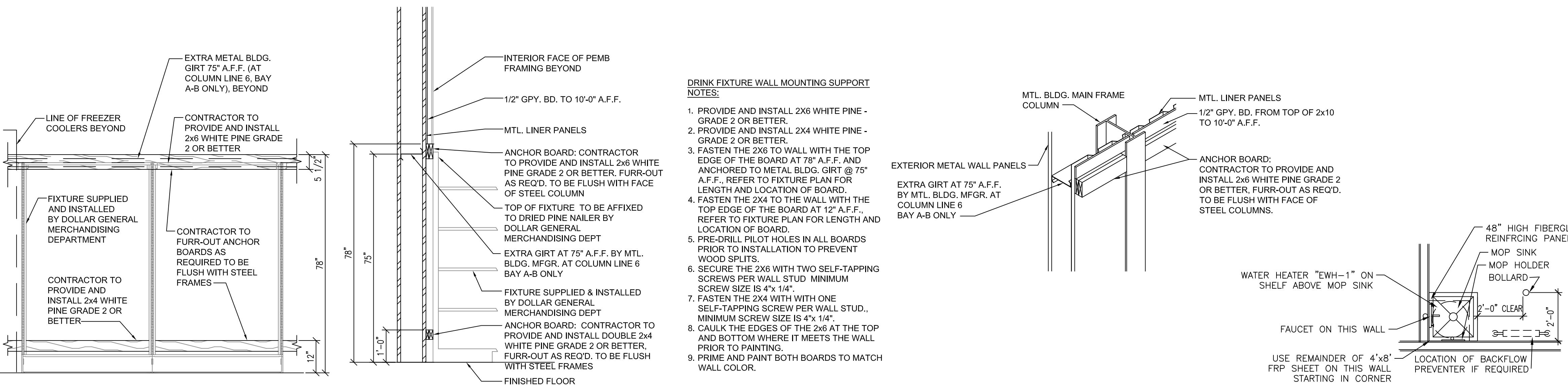


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Development Plans For:	Dollar General of Austin 1311 W Main Street Austin, Arkansas 7207 PB General Holdings, LLC 5110 Talley Road Little Rock, AR 72204 (501) 219-8899
Details	



BLEW	
Surveying Engineering Environmental	
3825 N. Shiloh Drive Fayetteville, Arkansas 72703	Office: (479) 443-4506 www.BLEWINC.com
Certificate of Authorization № 1534	
DATE: 2025-09-10	JOB NUMBER: 25-1777
DRAWN BY: H. Smith	REVIEWED BY: W. Cody Sexton
DRAWING NAME: 25-1777 Civil 001 - Details.dwg	
SHEET NUMBER: C6-1	

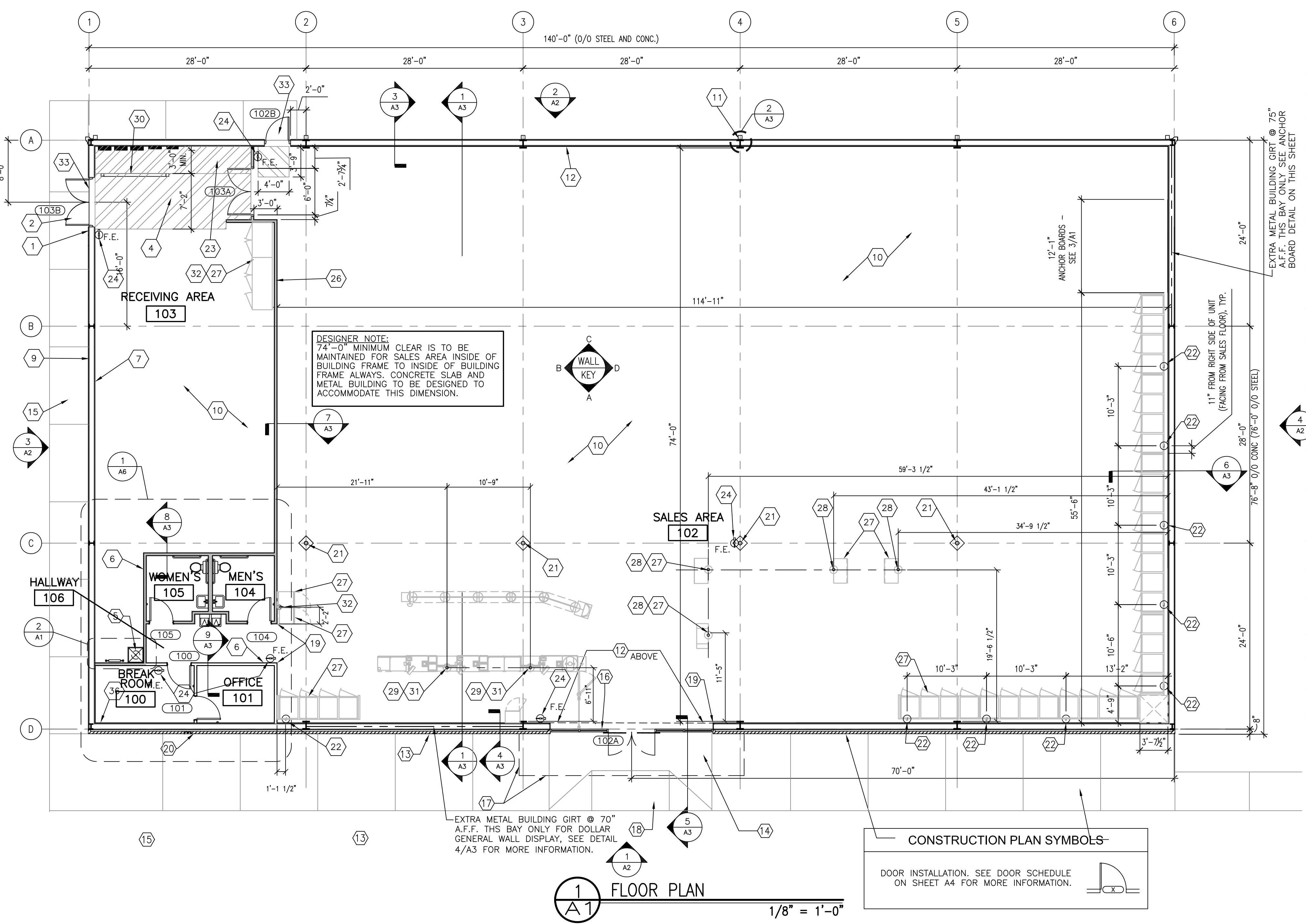


NOTE:
METAL BUILDING COLUMNS SHALL BE STRAIGHT.

NOTE:
THE ALLOWABLE CLEAR DISTANCE BEHIND THE SALES FLOOR FIXTURES IS 1-1/4" MAXIMUM TO THE FACE OF DRYWALL. IF IT IS LARGER THAN THIS, PROVIDE HORIZONTAL WOOD FURRING STRIPS, PAINTED WALL COLOR, MOUNTED ON THE DRYWALL AT 78" AFF TO THE TOP OF THE STRIP TO REDUCE THE GAP TO LESS THAN 1-1/4".

BARTLETT ARCHITECTURE, Inc.
DESIGNER: PLANNER: BENTON, ARKANSAS 72019
ARCHITECT: #5 NORTH A.I.A., NCARB 501-714-4448
DANIEL BARTLETT

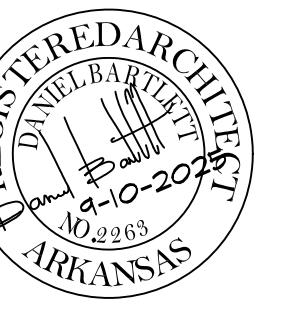
DOLLAR GENERAL (PLAN "C-DEP")
PROTOTYPE PLAN "C-DEP" (1,640 sf) (Dated 12/4/2023)
WEST MAIN STREET
AUSTIN, ARKANSAS
(STORE #31684)



FLOOR PLAN KEYED NOTES

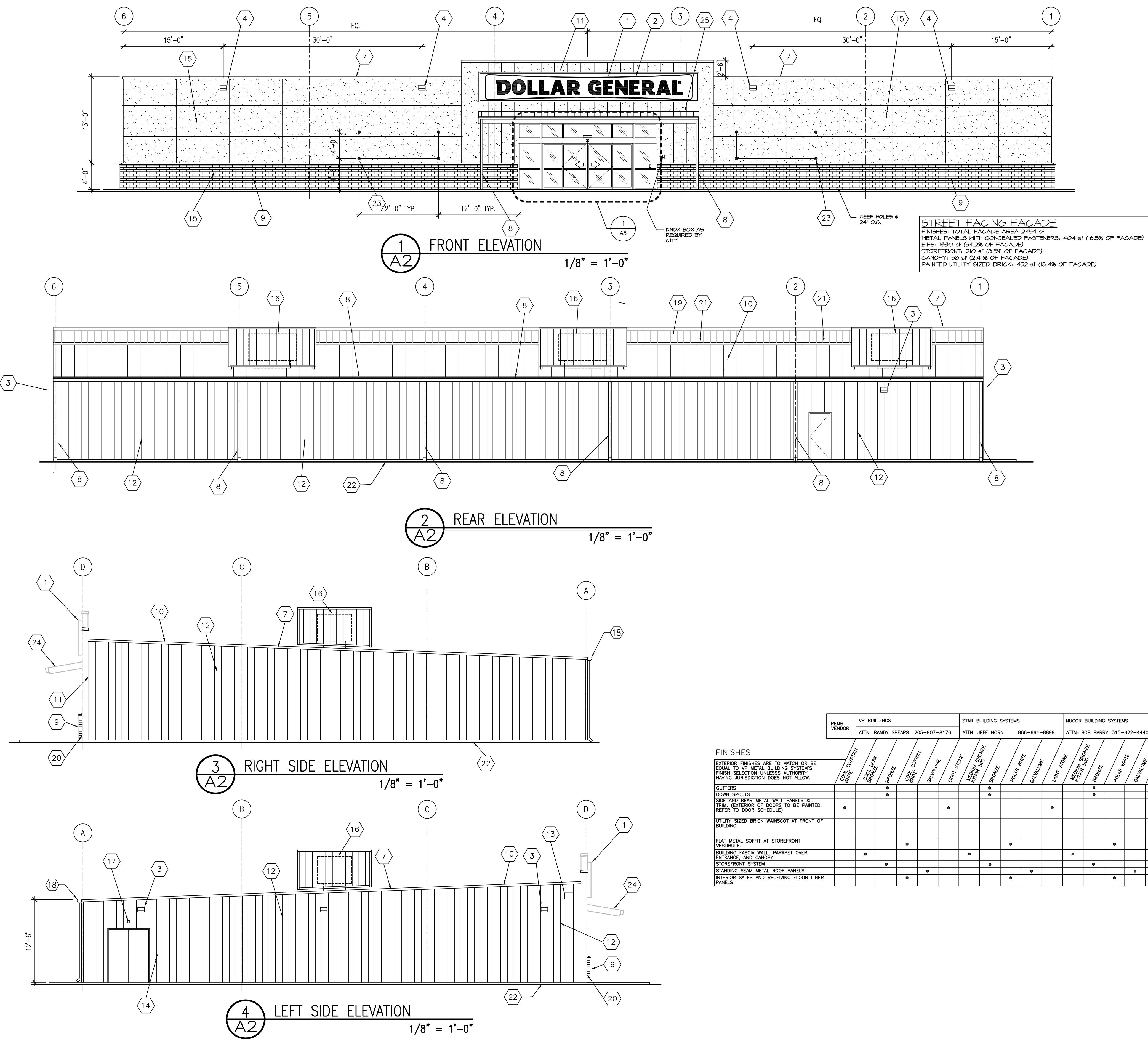
- ① RECEIVING DOOR BUZZER
- ② 2" DOOR SCOPE.
- ③ STRIPE FLOOR FOR DESIGNATED ADA EGRESS PATH (PAINT YELLOW)
- ④ STRIPE FLOOR FOR DESIGNATED CLEAR EGRESS PATH (PAINT YELLOW)
- ⑤ PROVIDE AND INSTALL A TEN GALLON WATER HEATER ABOVE THE MOP SINK. SEE PLUMBING PLANS FOR MORE INFORMATION
- ⑥ 3 5/8", 20 GA. METAL STUDS @ 16" O.C. WITH 1/2" GYP. BOARD BOTH SIDES. SEE WALL SECTION SHEET A3. REFER TO ROOM FINISH SCHEDULE FOR GYPSUM BOARD HEIGHT AT ANY PARTICULAR WALL.
- ⑦ VERTICAL METAL LINER PANELS TO 8'-0" A.F.F. IN RECEIVING AREA (BY PRE-ENGINEERED BUILDING MANUFACTURER)
- ⑧ DIMENSIONS TO BE COLUMN LINE UNLESS OTHERWISE NOTED.
- ⑨ METAL BUILDING PANELS (BY PRE-ENGINEERED BUILDING MANUFACTURER). "BPR" OR "A" STYLE PANELS ONLY. PROVIDE TAMPER-RESISTANT FASTENERS FOR BOTTOM 8'-0".
- ⑩ CONCRETE SLAB, SEE SHEET S1 FOR MORE INFORMATION.
- ⑪ METAL BUILDING FRAME. REFER TO DETAIL 3/A3 FOR ADDITIONAL INFORMATION.
- ⑫ FULL HEIGHT METAL LINER PANELS (28/29 GAUGE) WITH 1/2" GYPSUM BOARD. SEE INTERIOR ELEVATIONS ON SHEET A4. PROVIDE R-19 METAL BUILDING INSULATION.
- ⑬ 4" SPLIT FACED CMU PAINTED SW #7037 BALANCED BEIGE. ALIGN FACE OF BLOCK WITH STEEL GIRT. PROVIDE PROPER ANCHORAGE TO STRUCTURE. (TOP AND BOTTOM COURSE TO BE SMOOTH-FACED)
- ⑭ SLOPE CONCRETE 1/8" PER FOOT AWAY FROM BUILDING.
- ⑮ BROOM FINISH CONCRETE SIDEWALK, TYP. REFER TO CIVIL.
- ⑯ BRONZE STOREFRONT SYSTEM. REFER TO SHEETS A4 AND A5 FOR ADDITIONAL INFORMATION. CONTINUE METAL LINER PANELS TO DECK.
- ⑰ LINE OF SOFFIT OR CANOPY ABOVE.
- ⑱ A.D.A. COMPLIANT H.C. RAMP WITH PAINTED SIDES TO ACCESSIBLE PARKING STALLS, REFER TO CIVIL.
- ⑲ MC CUE CART AND BUMPER GUARDS 3'-5" A.F.F., ORDER TRIMKIT FOR THIS PROTOTYPE.
- ⑳ WALL HYDRANT. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

FLOOR PLAN
PROJECT # 2511
SEPT. 10, 2025
A1
SHEET 1 of 9



BARTLETT ARCHITECTURE, Inc.
 ARCHITECT DANIEL BARTLETT
 PLANNER BENTON, ARKANSAS 72019
 #5 NORTH A.L.A., NCARB 501-794-4448

DOLLAR GENERAL (PLAN "C-DGP")
 PROTOTYPE PLAN "C-DGP" (0.640 sf) (Dated: 12/4/2023)
 WEST MAIN STREET
 AUSTIN, ARKANSAS



ELEVATION KEYED NOTES

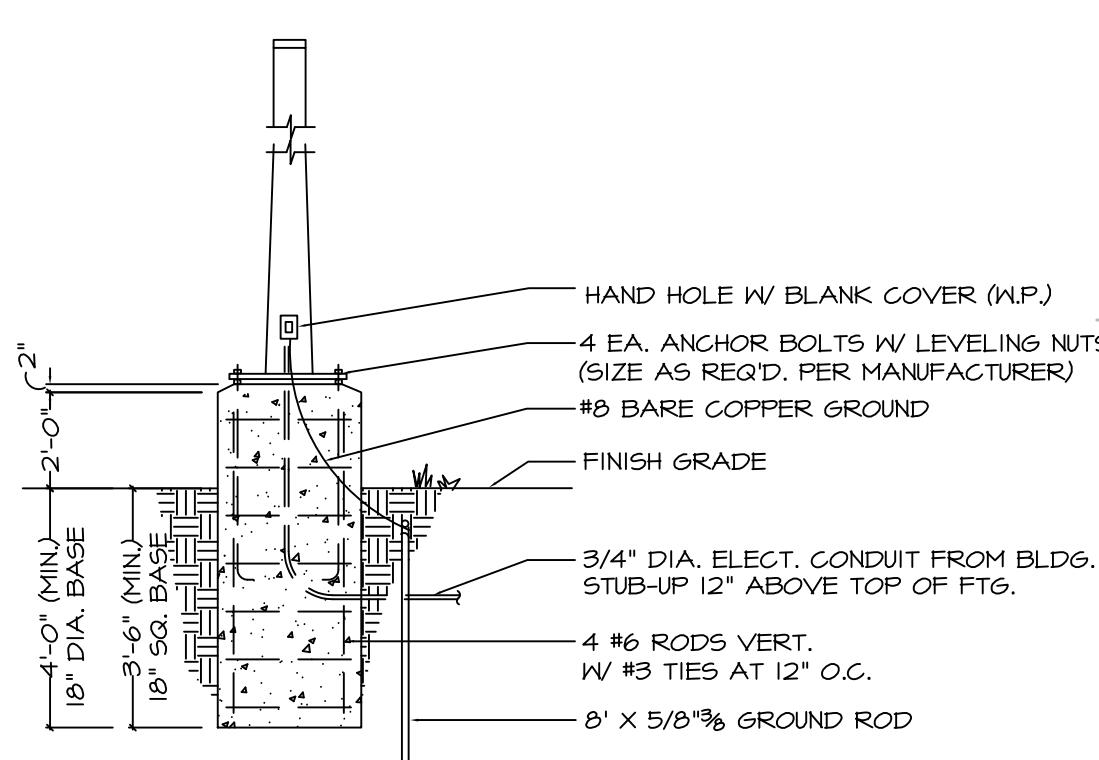
- ① SIGN FURNISHED AND INSTALLED BY DOLLAR GENERAL CORP. WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. EXTERIOR CANOPY SIGN SHALL BE SUPPORTED BY THE FACE OF CANOPY. CONTRACTOR IS TO PROVIDE ADEQUATE STRUCTURE TO SUPPORT SIGN. COORDINATE THE PROPER SIGNAGE TO BE USED WITH DOLLAR GENERAL.
- ② EXTRA GIRTS BEHIND SIGN BY METAL BLDG. MFGR. G.C. TO ENSURE PROPER SIGNAGE SUPPORT IS PROVIDED.
- ③ LED WALL PACK (BOTTOM OF LIGHT FIXTURE ON WALL AT 11'-6" A.F.F.) REFER TO LIGHTING PLAN SHEET E2 FOR MORE INFORMATION. SEE SHEET A3 FOR BLOCKING INFORMATION FOR MOUNTING LIGHT.
- ④ LED WALL PACK (BOTTOM OF FIXTURE ON WALL AT 15'-6" A.F.F.) REFER TO LIGHTING PLAN SHEET E2 FOR MORE INFORMATION. SEE SHEET A3 FOR BLOCKING INFORMATION FOR MOUNTING LIGHT.
- ⑤ (NOT USED)
- ⑥ (NOT USED)
- ⑦ TRIM - SEE SHEET S1 FOR COLOR.
- ⑧ GUTTER AND DOWNSPOUT - SEE SHEET FINISH SCHEDULE ON THIS SHEET FOR COLOR.
- ⑨ 4" SMOOTH FACED UTILITY SIZED BRICK W/ 12 GA. RIGID WALL TIES (TIES @ EACH GIRT @ 24" O.C. HORIZ. AND BETWEEN GIRTS @ 16" O.C. VERT. AND 36" HORIZ.), PAINTED SW #7032 - "WARM STONE".
- ⑩ STANDING SEAM METAL ROOF. GALVALUME FINISH.
- ⑪ PRE-FINISHED METAL PANELS "FLUSH PROFILE" PANEL WITH CONCEALED FASTENERS (COLOR: DARK BRONZE)
- ⑫ PRE-FINISHED METAL WALL PANELS, "PBR" OR "A" STYLE PANELS ONLY. PROVIDE TAMPER RESISTANT FASTENERS FOR BOTTOM 8'-0". (COLOR: LIGHTSTONE)
- ⑬ VENT FOR BATHROOM EXHAUST. REFER TO MECHANICAL DRAWING M1 FOR ADDITIONAL INFORMATION.
- ⑭ DOOR BUZZER. REFER TO ELECTRICAL DRAWING E1 FOR ADDITIONAL INFORMATION.
- ⑮ 1 1/2" EIFS (COLOR TO MATCH SW #6016 "KILIM BEIGE")
- ⑯ HVAC UNITS MOUNTED ON ROOF. REFER TO MECHANICAL SHEET M1 FOR MORE INFORMATION.
- ⑰ OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOOR AT 9'-0" A.F.F.
- ⑱ MINIMUM EAVE HEIGHT IS 14'-0" A.F.F.
- ⑲ PARAPET BEYOND.
- ⑳ FLASHING AT CMU/MTL. PANEL
- ㉑ WALL/ROOF FLASHING
- ㉒ FINISH GRADE TO BE A MINIMUM OF 6" BELOW FINISHED FLOOR LEVEL AT ALL NONPAVED AREAS.
- ㉓ 1/2" DIAMETER x 6" LONG STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY. TOTAL OF 8 BOLTS.
- ㉔ METAL CANOPY BY MTL. BLDG. MFGR.

PMB VENDOR	VP BUILDINGS			STAR BUILDING SYSTEMS			NUCOR BUILDING SYSTEMS			BIG BEE STEEL BUILDINGS			CHIEF BUILDINGS			PREFERRED EXTERIOR ALTERNATE EXTERIOR MATERIALS ARE USED IF MATERIALS ARE NOT USED		
	ATTN: RANDY SPEARS	205-907-8176	ATTN: JEFF HORN	866-664-8899	ATTN: BOB BARRY	315-622-4440	ATTN: KEVIN BUSLER	800-633-3378	ATTN: ERIN SULLIVAN	800-845-1767	ATTN: WILLIAMS	800-845-1767	ATTN: WILLIAMS	800-845-1767	ATTN: WILLIAMS	800-845-1767	ATTN: WILLIAMS	800-845-1767
FINISHES																		
EXTERIOR FINISHES ARE TO MATCH OR BE EQUAL TO VP METAL BUILDING SYSTEM'S EXTERIOR FINISHES UNLESS AUTHORITY HAVING JURISDICTION DOES NOT ALLOW.	COAT. WHITE	COAT. EGYPTIAN	COAT. DARK	COAT. BRONZE	COAT. BRONZE	COAT. COTTON	COAT. COTTON	COAT. GALVALUME	COAT. GALVALUME	COAT. BRONZE	COAT. BRONZE	COAT. BRONZE	COAT. BRONZE	COAT. BRONZE	COAT. BRONZE	COAT. BRONZE	COAT. BRONZE	
GUTTERS	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
DOWN SPOUTS	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
SIDE AND REAR METAL WALL PANELS & TRIM. EXCEPT DOORS TO BE PAINTED. REFER TO DOOR SCHEDULE.	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
UTILITY SIZED BRICK Wainscot AT FRONT OF BUILDING	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
FLAT METAL SOFFIT AT STOREFRONT VESTIBULE	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
BUILDING FAÇADE WALLS, PARAPET OVER ENTRANCE AND CANOPY	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
STOREFRONT SYSTEM	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
STANDING SEAM METAL ROOF PANELS	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
INTERIOR SALES AND RECEIVING FLOOR LINER PANELS	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	

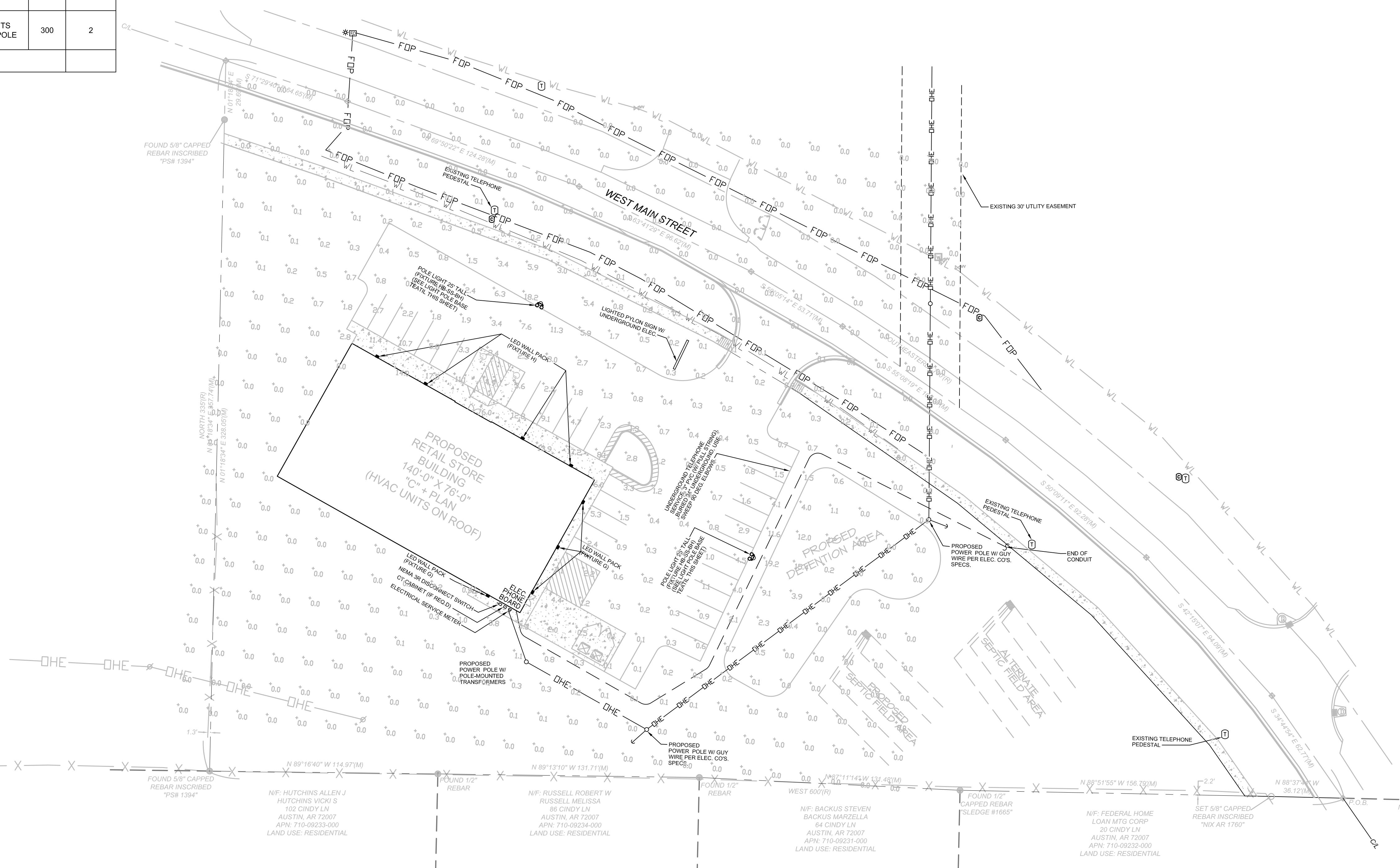
UTILITY INFORMATION:						
1. COORDINATE ELECTRICAL SERVICE FIRST ELECTRIC COOPERATIVE REPRESENTATIVE: RANDY JONES (501) 413-1240 (JACKSONVILLE OFFICE)						
2. COORDINATE TELEPHONE SERVICE WITH BRIGHTSPEED TELEPHONE REPRESENTATIVE: JOSH STONE (501) 472-6149 (JACKSONVILLE OFFICE/CELL PHONE)						

LEDS LLC LIGHT FIXTURE SCHEDULE						
SYMBOL	TYPE	MANF.	PART #	DESCRIPTION	W	COUNT
	G	SHENZHEN SNC OPTO ELEC. CO.	SNC-FWP01-40CT4A1-40	LED FULL CUOFT WALL PACK	40	4
	H	ASMART LIGHT CO. LTD.	PRO-SG11-150WCT3A1	LED AREA FLOOD LIGHT	150	4
	HB-SS-BH	JUST LED	TWO-PRO-SG11-150WCT3A1WITH SIDE SHIELDS POLE: DM490	2 LED AREA LIGHTS MOUNTED ON 20' POLE	300	2

SITE LIGHTING GENERAL NOTES	
A. FINAL SIGN CONNECTION AND UNDERGROUND CONDUIT IS LANDLORD RESPONSIBILITY. PROVIDE CONDUIT FROM THE ELECTRICAL PANEL TO LOCATION OF THE PYLON SIGN BASE BURY CONDUIT UNDER PARKING AREA. THE CONDUIT IS TO BE BURIED AND HAVE ONE SET TO 100% WIRE WITH GROUND AND 20-AMP TWO POLE BREAKER AT THE PANEL. A TEMPORARY 3' TALL STAKE SHALL BE PROVIDED TO DESIGNATE THE PYLON SIGN LOCATION UNTIL THE SIGN IS PERMANENTLY INSTALLED. REMOVE POST AFTER SIGN IS INSTALLED.	
B. SITE / PARKING LOT LIGHTING: PROVIDE ADEQUATE POLE AND/OR WALL LIGHTING FOR NIGHT VISION AROUND ENTRY, PARKING AND DUMPSTER PAD AREAS.	
C. MINIMUM OF 1.5 FOOT-CANDLES REQUIRED FOR ALL PAVED AREAS EXCLUDING 15' PERIMETER FROM EDGE OF PAVEMENT.	
D. REQUIRED LIGHTING: A COMBINATION OF POLE LIGHTS, FLOOD LIGHTS WITH ARM AND WALL PACKS WILL BE USED. REFER TO ELECTRICAL SITE PLAN AND SHEET E2 FOR ADDITIONAL INFORMATION.	
E. PLEASE NOTE THAT LIGHTING DESIGN AND LAYOUT SHOULD BE SITE SPECIFIC & MAY REQUIRE ADDITIONAL LIGHTING TO COMPLY WITH SITE DESIGN CONDITIONS. THEREFORE, MAKE PROVISIONS FOR MORE POLE LIGHTING WHEN A SPECIFIC SITE REQUIRES IT.	
F. UNDERGROUND ELECTRICAL SHALL BE PROVIDED TO THE SITE LIGHT POLES.	
G. WHERE LOCAL JURISDICTIONS DO NOT ALLOW DOLLAR GENERAL'S REQUIRED LIGHTING PLAN, AN ALTERNATE SITE LIGHTING PLAN & PHOTOMETRIC PLAN MUST BE SUBMITTED FOR APPROVAL TO THE DOLLAR GENERAL ARCHITECTURAL AND ENGINEERING DEPARTMENT.	
H. PHOTOMETRIC SITE ANALYSIS AVAILABLE THROUGH DOLLAR GENERAL VENDOR, LEDS LLC.	
I. DOLLAR GENERAL VENDOR PRICING FOR WALL PACKS OR POLE LIGHTING AVAILABLE FROM LEDS LLC.	
J. SEE SHEET E2 FOR MORE INFORMATION.	
K. VERIFY LOCAL DARK SKY REQUIREMENTS AND CONTACT VENDORS FOR APPROVED ALTERNATES IF REQUIRED.	



2 LIGHT POLE BASE DETAIL
SCALE: NOT TO SCALE



1 ELECTRICAL SITE PLAN
SCALE: 1"=20'-0"
NORTH

BARTLETT ARCHITECTURE, Inc.
PLANNER BENTON, ARKANSAS 72019
ARCHITECT 603 HWT #5 NORTH
DANIEL BARTLETT NCARB 501-794-4448

DOLLAR GENERAL PLAN "C-DEP"
PROTOTYPE PLAN "C-DEP" (10640 st) (Dated: 12/4/2023)
(STORE #31689)
WEST MAIN STREET
AUSTIN, ARKANSAS

ELEC. SITE PLAN
PROJECT # 251
SEPT. 10, 2025
SHEET 7 of 7
ES1